



# Board of Adjustment Staff Report

Meeting Date: May 2, 2019

Agenda Item: 8F

ADMINISTRATIVE CASE NUMBER: WADMIN19-0005 (Zweifel Garage Addition)

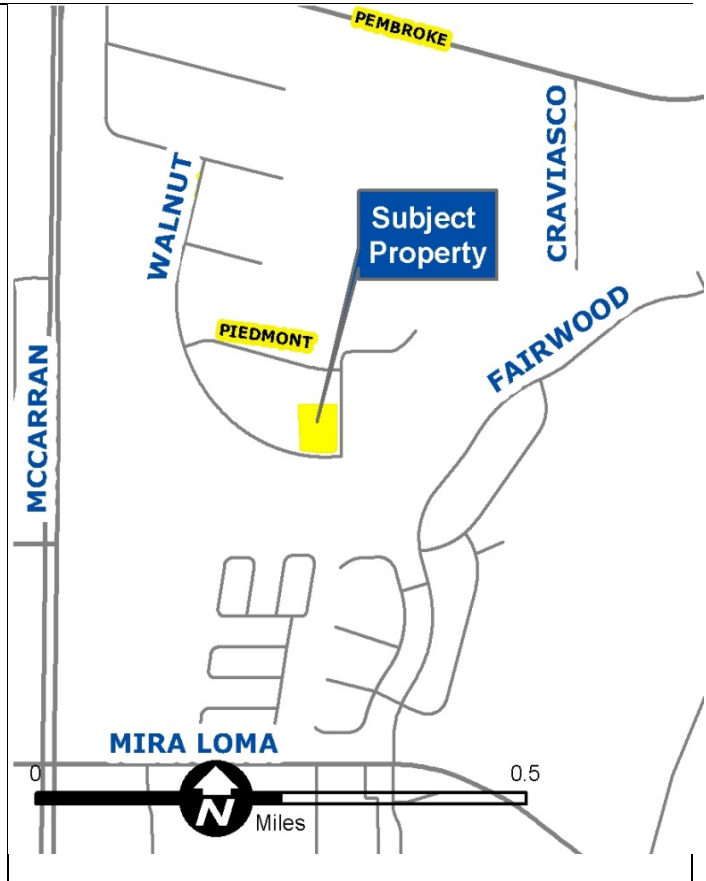
BRIEF SUMMARY OF REQUEST: To allow an existing ±2,790 square foot detached accessory structure larger than the main dwelling.

STAFF PLANNER: Jacob Parker  
775.328.3628  
jparker@washoecounty.us

### CASE DESCRIPTION

For possible action, hearing, and discussion to approve an administrative permit for the enlargement of an accessory structure used as a garage and shop, which resulted in an accessory structure of ±2790 sq. ft., a building foot print larger than the primary residence.

Applicant/Property Owner:	Jerry and Adrienne Zweifel
Location:	2405 Walnut Street Reno, NV. 89502
APN:	021-132-04
Parcel Size:	1.12 acres
Master Plan:	Suburban Residential (SR)
Regulatory Zone:	Medium Density Suburban (MDS)
Area Plan:	Southeast Truckee Meadows Area Plan
Citizen Advisory Board:	South Truckee Meadows/Washoe Valley
Development Code:	Authorized in Article 306 Accessory Uses and Structures; Article 808 Administrative Permits
Commission District:	2 – Commissioner Lucey



### STAFF RECOMMENDATION

APPROVE

**APPROVE WITH CONDITIONS**

DENY

### POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Administrative Permit Case Number WADMIN19-0005 for Jerry and Adrienne Zweifel, having made all four required findings in accordance with Washoe County Code Section 110.808.25.

*(Motion with Findings on Page 6)*

**Staff Report Contents**

Administrative Permit Definition ..... 3  
Vicinity Map ..... 3  
Site Plan ..... 4  
Reviewing Agencies..... 5  
Staff Comment on Required Findings ..... 6  
Recommendation ..... 6  
Motion ..... 6  
Appeal Process ..... 7

---

**Exhibits Contents**

Conditions of Approval ..... Exhibit A  
Public Notice ..... Exhibit B  
Project Application ..... Exhibit C

## Administrative Permit Definition

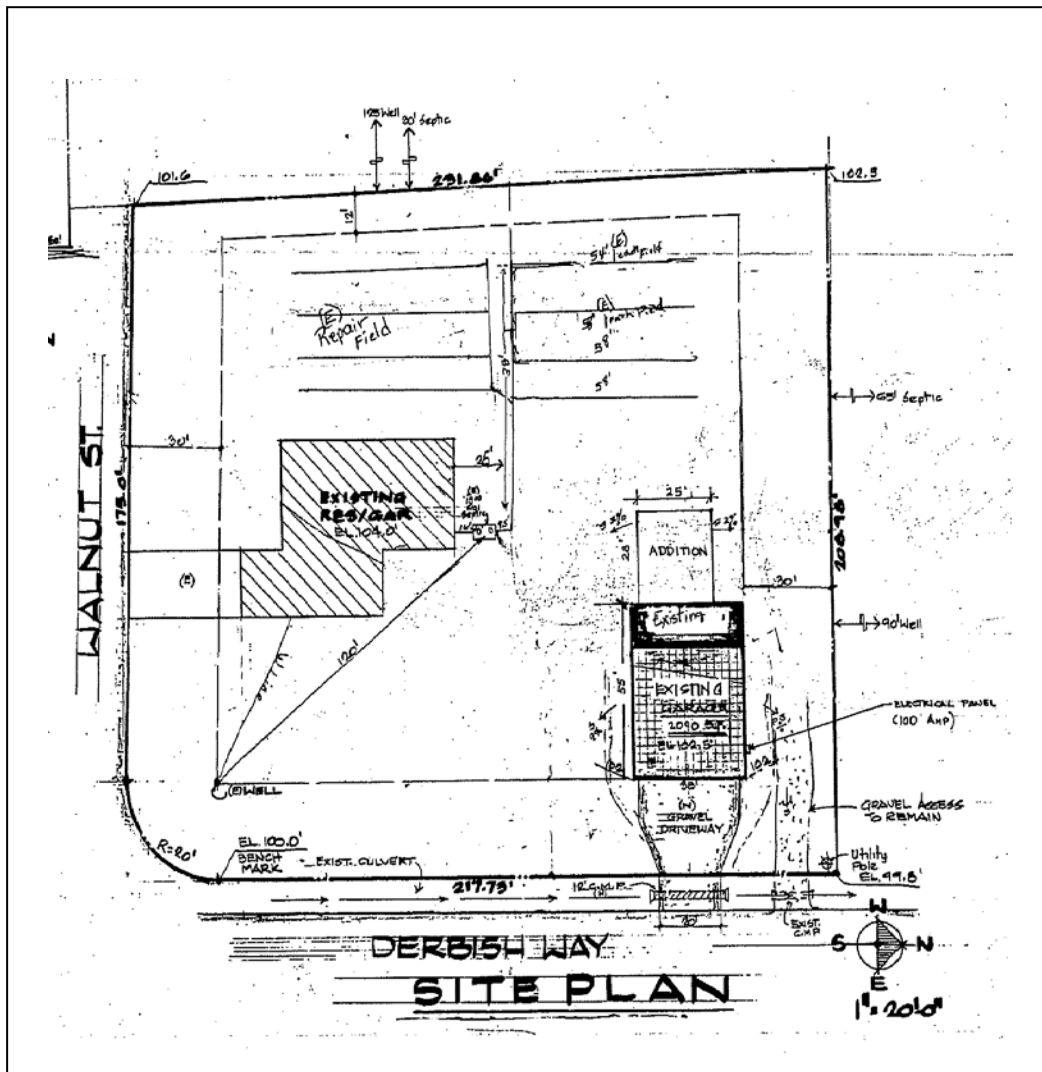
The purpose of an Administrative Permit is to provide a method of review for a proposed use which possess characteristics that requires a thorough appraisal in order to determine if the use has the potential to adversely affect other land uses, transportation or facilities in the vicinity. The Board of Adjustment or the Hearing Examiner may require conditions of approval necessary to eliminate, mitigate, or minimize to an acceptable level any potentially adverse effects of a use, or to specify the terms under which commencement and operation of the use must comply. Prior to approving an application for an administrative permit, the Board of Adjustment must find that all of the required findings, if applicable, are true.

The Conditions of Approval for Administrative Permit Case Number WADMIN19-0005 is attached to this staff report and will be included with the Action Order, if approved by the Board of Adjustment.

The Washoe County Development Code (WCC) Chapter 110 Section 306.10(d) allows a detached accessory structure with a larger building footprint than the existing main structure with an approval of an Administrative Permit. The applicant is seeking approval of the Administrative Permit to meet this section of the code.



Vicinity Map



**Site Plan**

**Project Evaluation**

The applicant is seeking an administrative permit to allow an addition to a detached accessory structure that increased the footprint of the structure to larger than the main dwelling. The subject property is 1.12 acres in size and has a regulatory zone of Medium Density Suburban (MDS) which permits single family dwellings with accessory structures. The property is developed with a single family residence and an accessory structure used as a garage and shop.

There is currently a ±2,500 square foot (sq. ft.), single story single-family home and a ±2,000 sq. ft. detached accessory building used as a garage and shop. The applicant built a ±700 sq. ft. addition on the existing accessory building; increasing its size to ±2,700 sq. ft. A detached accessory structure is an allowed use in the MDS regulatory zone but when the accessory structure is larger than the main dwelling, an administrative permit is required per WCC Section 110.306.10(d).

The addition was built prior to a code enforcement case (WVIO-PLA16-0063) in 2016. The size discrepancy and lack of a building permit were identified during the code enforcement case. A building permit was filed for the addition, (WBLD18-106539) June 2018. The building permit remains in review pending the outcome of this Administrative Permit.

All the nearest parcels have Medium Density Suburban regulatory zones while the parcels starting 400 feet to the North are zoned General Rural. All of the surrounding parcels are developed with single family dwellings. There are other large detached accessory structures in the vicinity of the subject site. Several surrounding properties either have large barns or have similarly large detached structures.

The property owner states that the existing structure is used as equipment and vehicle storage and the addition was built to increase storage equipment and materials. Materials used for construction are similar to those used in the main dwelling. The addition has been used for storage. The garage and addition do have electricity, but not sanitation, water or any signage.

The addition was built on the west side of the existing garage, ±35 feet from the nearest property line to the north. The addition is ±90 feet from Derbish Way and the west property line, and ±70 feet from the nearest neighbor's dwelling; there is a row of trees between the accessory structure and the neighboring residence. The applicant has planted 20 trees to decrease the view of the structure and has written a willingness to plant more, should that be a requirement of the permit.

If the Administrative Permit is approved, the property owner's application for a building permit will be reviewed in order to bring the addition into conformance with the Washoe County Development Code.

### **South Truckee Meadows/Washoe Valley Citizen Advisory Board (CAB)**

Administrative permits are not required by Washoe County Code to be presented at a Citizen Advisory Board meeting. The application was presented at the April 4, 2019 CAB for comment.

### **Reviewing Agencies**

The following agencies received a copy of the project application for review and evaluation.

- Washoe County Community Services Department
  - Engineering and Capital Projects Division
  - Parks and Open Spaces
  - Planning and Building Division
  - Utilities/Water Rights
- Washoe County Sheriff's Office
- Washoe County Regional Animal Services
- Washoe-Storey Conservation District
- Regional Transportation Commission
- Regional Emergency Medical Service Agency

No agencies/departments provided comments and/or recommended conditions of approval in response to their evaluation of the project application. A **summary** of each agency's comments and/or recommended conditions of approval and their contact information is provided. The Conditions of Approval document is attached to this staff report and will be included with the Action Order, if approved.

- Washoe County Planning and Building Division addressed the hours of operation, set landscaping, parking and lighting standards and imposed operational conditions that will be in effect for the life of the project.

**Contact – Jacob Parker, 775.328.3628, jparker@washoecounty.us**

### **Staff Comment on Required Findings**

WCC 110.808.25 requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the administrative permit request. Staff has completed an analysis of the application and has determined that the proposal is in compliance with the required findings as follows.

1. **Consistency.** That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Southeast Truckee Meadows Area Plan.

**Staff Comment:** There are no action programs, policies, standards and maps of the Master Plan or the Southeast Truckee Meadows Area Plan that prohibit the construction of a detached accessory structure or which limits the size and/or materials used in the construction of the structure.

2. **Improvements.** That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

**Staff Comment:** The proposed structure does not require additional public improvements or public facilities for the use.

3. **Site Suitability.** That the site is physically suitable for an accessory structure larger than the primary dwelling and for the intensity of such a development.

**Staff Comment:** The site is suitable for development. There is existing access to the garage/shop and the dwelling. The dwelling, existing garage shop and the addition combined use less than 10% of the parcel.

4. **Issuance Not Detrimental.** That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

**Staff Comment:** The addition is more than 70 feet from the nearest neighbor's home and there are trees in the line of sight. While the structure may be visible from some homes, it does not create a detriment to the health, safety, or welfare of the properties in the area.

5. **Effect on a Military Installation.** Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

**Staff Comment:** There are no military installations within the required noticing distance (3,000 feet) of the subject parcel; therefore, this finding is not required to be made for the Administrative Permit approval.

### **Recommendation**

Those agencies which reviewed the application recommended conditions in support of approval of the project. Therefore, after a thorough analysis and review, Administrative Permit Case Number WADMIN19-0005 is being recommended for approval, with conditions. Staff offers the following motion for the Board's consideration.

### **Motion**

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Board of Adjustment approve Administrative Permit Case Number WADMIN19-0005 for Jerry and Adrienne Zweifel, having

made the four findings in accordance with Washoe County Development Code Section 110.808.25:

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Southeast Truckee Meadows Area Plan;
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. Site Suitability. That the site is physically suitable for an accessory structure larger than the primary dwelling, and for the intensity of such a development;
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;

### **Appeal Process**

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant.

Applicant/Owner: Jerry and Adrienne Zweifel  
2405 Walnut Street  
Reno, NV 89502



# Conditions of Approval

Administrative Permit Case Number WADMIN19-0005

The project approved under Administrative Permit Case Number WADMIN19-0005 shall be carried out in accordance with the Conditions of Approval granted by the Board of Adjustment on May 2, 2019. Conditions of Approval are requirements placed on a permit or development by each reviewing agency. These Conditions of Approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act or to abide by all other generally applicable Codes, and neither these conditions nor the approval by the County of this project/use override or negate any other applicable restrictions on uses or development on the property.

**Unless otherwise specified**, all conditions related to the approval of this Administrative Permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this Administrative Permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the Administrative Permit may result in the initiation of revocation procedures.

Operational Conditions are subject to review by the Planning and Building Division prior to the renewal of a business license each year. Failure to adhere to the Operational Conditions may result in the Planning and Building Division recommending that the business license not be renewed until conditions are complied with to the satisfaction of Washoe County.

Washoe County reserves the right to review and revise the conditions of approval related to this Administrative Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of Approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “Conditions of Approval” are referred to as “Operational Conditions.” These conditions must be continually complied with for the life of the project or business.

**The Washoe County Commission oversees many of the reviewing agencies/departments with the exception of the following agencies:**



- **The DISTRICT BOARD OF HEALTH, through the Washoe County Health District, has jurisdiction over all public health matters in the Health District. Any conditions set by the Health District must be appealed to the District Board of Health.**
- **The RENO-TAHOE AIRPORT AUTHORITY is directed and governed by its own Board. Therefore, any conditions set by the Reno-Tahoe Airport Authority must be appealed to their Board of Trustees.**
- **The REGIONAL TRANSPORTATION COMMISSION (RTC) is directed and governed by its own Board. Conditions recommended by the RTC may be required, at the discretion of Washoe County.**

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

**Washoe County Planning and Building Division**

1. The following conditions are requirements of the Planning and Building Division, which shall be responsible for determining compliance with these conditions.

**Contact Name – Jacob Parker, Planner, 775.328.3628 [jparker@washoecounty.us](mailto:jparker@washoecounty.us)**

- a. The applicant shall demonstrate substantial conformance to the plans approved as part of this administrative permit. Planning and Building shall determine compliance with this condition.
- b. The applicant shall submit complete construction plans and building permits shall be issued within two (2) years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by Planning and Building.
- c. The applicant shall attach a copy of the Action Order approving this project to all administrative permit applications (including building permits) applied for as part of this administrative permit.
- d. A note shall be placed on all construction drawings and grading plans stating:

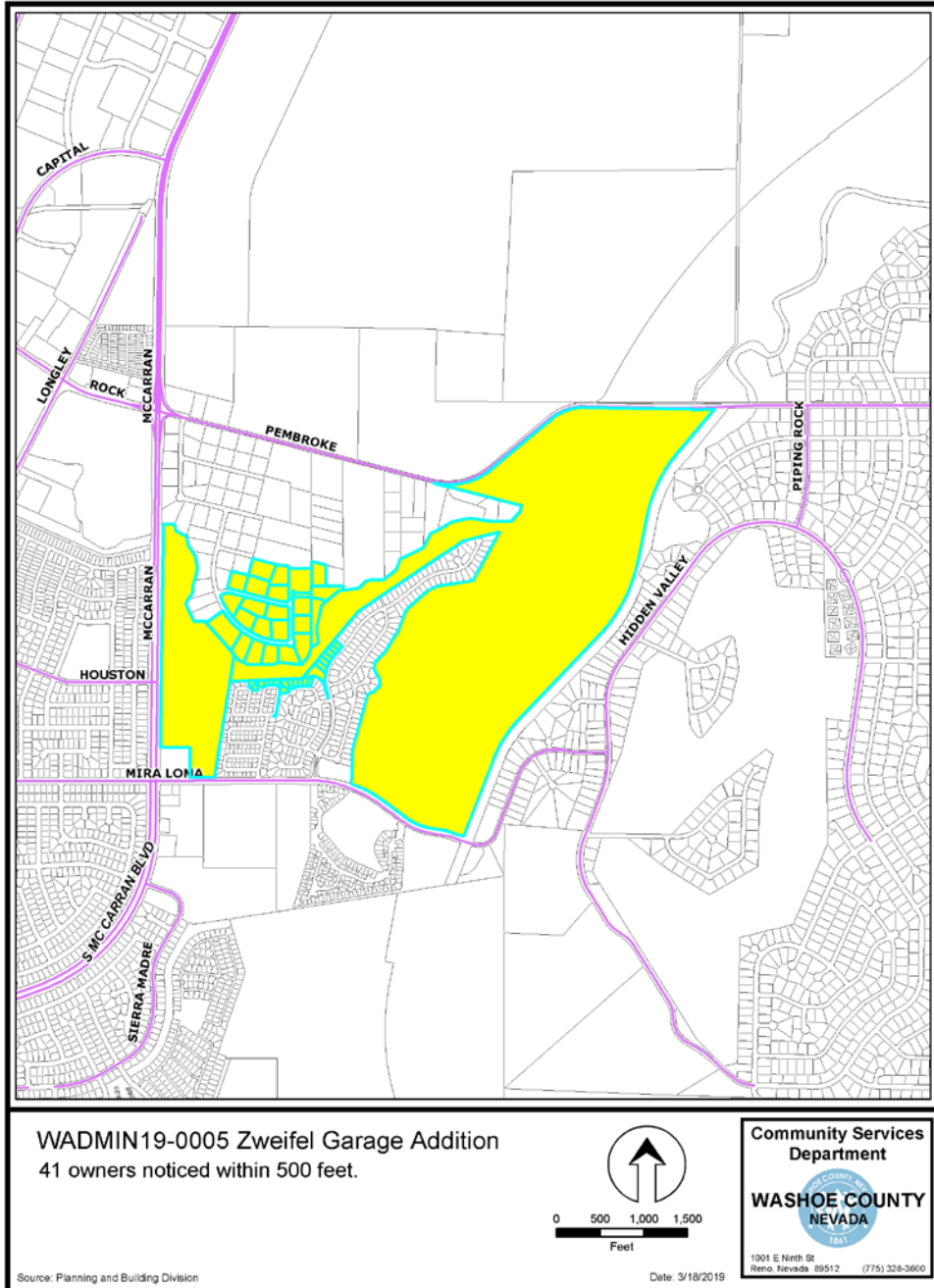
**NOTE**

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

**\*\*\* End of Conditions \*\*\***

**Public Notice**

Washoe County Code requires that public notification of an Administrative Permit be mailed to a minimum of 30 separate property owners within a minimum 500 foot radius of the subject property a minimum of 10 days prior to the public hearing date. This proposal was noticed within a 500-foot radius of the subject property, noticing 41 separate property owners a minimum of 10 days prior to the public hearing date.



**Public Notice Map**

**Administrative Permit Case Number WADMIN19-0005**

Original

Community Services Department  
Planning and Building  
**ADMINISTRATIVE PERMIT APPLICATION**  
(Care for the Infirm see page 9)



Community Services Department  
Planning and Building  
1001 E. Ninth St., Bldg. A  
Reno, NV 89520

Telephone: 775.328.6100

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <u>Zweifel Garage Addition</u>			
Project Description: <u>A Detached accessory structure that is larger than the dwelling on same parcel.</u>			
Project Address: <u>2405 Walnut st.</u>			
Project Area (acres or square feet): <u>700sq feet</u>			
Project Location (with point of reference to major cross streets AND area locator): <u>walnut st / Derbish way</u>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
<u>021-182-04</u>			
Section(s)/Township/Range:			
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information (attach additional sheets if necessary)</b>			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: <u>Jerry/Adrienne Zweifel</u>		Name:	
Address: <u>2405 Walnut st.</u>		Address:	
Zip: <u>89502</u>		Zip:	
Phone: <u>775-622-6477</u> Fax:		Phone: Fax:	
Email: <u>jwzweifel@yahoo.com</u>		Email:	
Cell: <u>775-622-6477</u> Other:		Cell: Other:	
Contact Person: <u>Jerry Zweifel</u>		Contact Person:	
<b>Applicant/Developer: SAME</b>		<b>Other Persons to be Contacted:</b>	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Jerry Zweifel

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA )  
COUNTY OF WASHOE )

I, Jerry Zweifel  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 021-132-04

Printed Name Jerry Zweifel

Signed Jerry Zweifel

Address 2405 Walnut st.  
Reno Nev. 89502

STATE OF NEVADA  
COUNTY OF WASHOE

Subscribed and sworn to before me this  
24 day of December, 2010

Nevada Washoe  
Notary Public in and for said county and state

My commission expires: 10.25.2022

(Notary Stamp)  
[Signature]  
Notary



\*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

## Administrative Permit Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to administrative permits may be found in Article 808, Administrative Permits.

1. What is the type of project or use being requested?

garage / storage  
Detached Accessory Structure of 700  
sq ft. added to make storage large.

2. What currently developed portions of the property or existing structures are going to be used with this permit?

The structure is larger - because  
it was added to a previously permitted  
structure.

3. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

Existing permitted structure was  
enlarged by means of unpermitted  
addition, which is completed.

4. What is the intended phasing schedule for the construction and completion of the project?

Permitting and improvement to meet code will begin immediately upon approval

5. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

In addition to much needed Storage, this structure was engineered to beautify our property and not affect or depreciate neighbors or area values

6. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

This structure will eliminate clutter on premises to improve curb appeal and property values and a more visual improvement

7. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

We've planted 20 Pine trees around the property, painted house and out buildings all the same color making property attractive for curb appeal  
siding and roof match house. See photos.

8. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

We planted 20 Pine trees around the parameters and are willing to plant additional trees if you tell us to, or feel it is necessary.

9. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

NA

10. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

NA

11. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

NA



12. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

13. Utilities:

a. Sewer Service	<del>N/A</del> SEPTIC
b. Water Service	<del>N/A</del> WELL

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

i. Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

N/A



**NOTICE OF TAXES  
WASHOE COUNTY, NEVADA**

TAMMI DAVIS TREASURER  
tax@washoecounty.us  
Annual - Real

2018028275  
www.washoecounty.us/treas  
PHONE 775-328-2510  
FAX 775-328-2500  
12/24/2018 10:05 am

**OFFICE LOCATION:**  
1001 E NINTH ST-BLDG D RM140  
RENO, NV

TAX YEAR	PIN	NAME	PROPERTY LOCATION AND DESCRIPTION
2018	02113204	ZWEIFEL, JERRY & ADRIENNE	2405 WALNUT ST SUBDIVISIONNAME_UNSPECIFIED TOWNSHIP 19 SECTION 28 LOT BLOCK RANGE 20
AREA	TAX RATE		
4000	3.2402000000		
ASSESSED VALUATION		EXEMPTION VALUES	
LAND		28,000	EXEMPTION 0.00
IMPROVEMENT		49,552	
TOTAL ASSESSED VALUE		77,552	

**2018 ACCOUNT SUMMARY**

GROSS AD VALOREM TAX	2,512.86
ABATEMENT AMOUNT	-45.77
*ABATEMENT APPLIED LIMITS INCREASE TO 4.2%*	
RECAPTURE TAX	0.00
NET AD VALOREM TAX	2,467.09
EXEMPTION AMOUNT	0.00
SPECIAL ASSESSMENTS	0.03
PENALTIES	0.00
FEES	0.00
INTEREST	0.00
<b>TOTAL AMOUNT BILLED</b>	<b>2,467.12</b>
LESS PAYMENTS APPLIED	1,233.58
<b>BALANCE REMAINING</b>	<b>1,233.54</b>
PRIOR YEAR DELINQUENCIES	0.00
<b>TOTAL BALANCE OWING</b>	<b>\$1,233.54</b>
Amount good through 12/24/2018	

**2018 BILLING DETAIL**

TAXING AGENCY	RATE	AMOUNT	SPEC. ASSESSMENTS	RATE	AMOUNT
STATE OF NEVADA	0.170000000	129.44	TRUCKEE/SUN VLY WATER BASIN		0.03
TRUCKEE MEADOWS FIRE	0.540000000	411.15			
SCHOOL DEBT	0.388500000	295.80			
SCHOOL GENERAL	0.750000000	571.05			
COUNTY GENERAL	1.340700000	1,020.81			
COUNTY DEBT	0.021000000	15.99			
ANIMAL SHELTER	0.030000000	22.85			

IF PROPERTY IS PROTECTED BY BANKRUPTCY, THIS IS FOR YOUR INFORMATION. DO NOT CONSIDER THIS AS AN ATTEMPT TO COLLECT.

PAYMENTS RECEIVED WILL BE APPLIED TO THE OLDEST CHARGES FIRST.  
TO AVOID LATE CHARGES, PAYMENTS MUST BE POSTMARKED BY THE DUE DATE.  
ALL DELINQUENT AMOUNTS ARE DUE IMMEDIATELY.

PLEASE INCLUDE APPROPRIATE STUBS  
WITH PAYMENT TO ASSURE PROPER  
CREDIT.

02113204  
JERRY & ADRIENNE ZWEIFEL  
2405 WALNUT ST  
RENO NV 89502

MAKE REMITTANCES PAYABLE TO:  
WASHOE COUNTY TREASURER  
P O BOX 30039  
RENO NV 89520-3039

SEE REVERSE FOR INFORMATION  
**WADMIN19-0005  
EXHIBIT C**

# Property Tax Reminder Notice

WASHOE COUNTY  
 PO BOX 30039  
 RENO, NV 89520-3039  
 775-328-2510

PIN: 02113204  
 AIN:

Balance Good Through:	12/24/2018
Current Year Balance:	\$1,233.54
Prior Year(s) Balance: (see below for details)	\$0.00
<b>Total Due:</b>	<b>\$1,233.54</b>

AUTO  
 :895026:

JERRY & ADRIENNE ZWEIFEL  
 2405 WALNUT ST  
 RENO NV 89502

Description:

Situs: 2405 WALNUT ST  
 WCTY

This is a courtesy notice. If you have an impound account through your lender or are not sure if you have an impound account and need more information, please contact your lender directly. Please submit payment for the remaining amount(s) according to the due dates shown. Always include your PIN number with your payment. Please visit our website: [www.washoecounty.us/treas](http://www.washoecounty.us/treas)

Current Charges									
PIN	Year	Bill Number	Inst	Due Date	Charges	Interest	Pen/Fees	Paid	Balance
02113204	2018	2018028275	1	08/20/2018	616.81	0.00	0.00	616.81	0.00
02113204	2018		2	10/01/2018	616.77	0.00	0.00	616.77	0.00
02113204	2018		3	01/07/2019	616.77	0.00	0.00	0.00	616.77
02113204	2018		4	03/04/2019	616.77	0.00	0.00	0.00	616.77
Current Year Totals					2,467.12	0.00	0.00	1,233.58	1,233.54

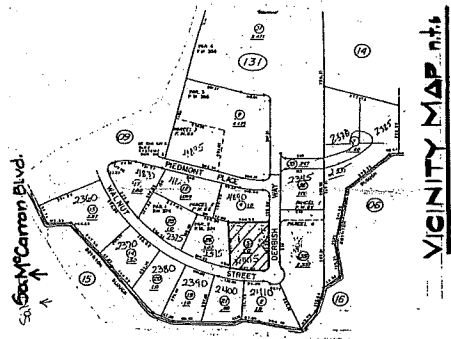
Prior Years								
PIN	Year	Bill Number	Charges	Interest	Pen/Fees	Paid	Balance	
Prior Years Total								

Jerry Zweifel (175)222-4

San Marcos Blvd.

### SHEET INDEX

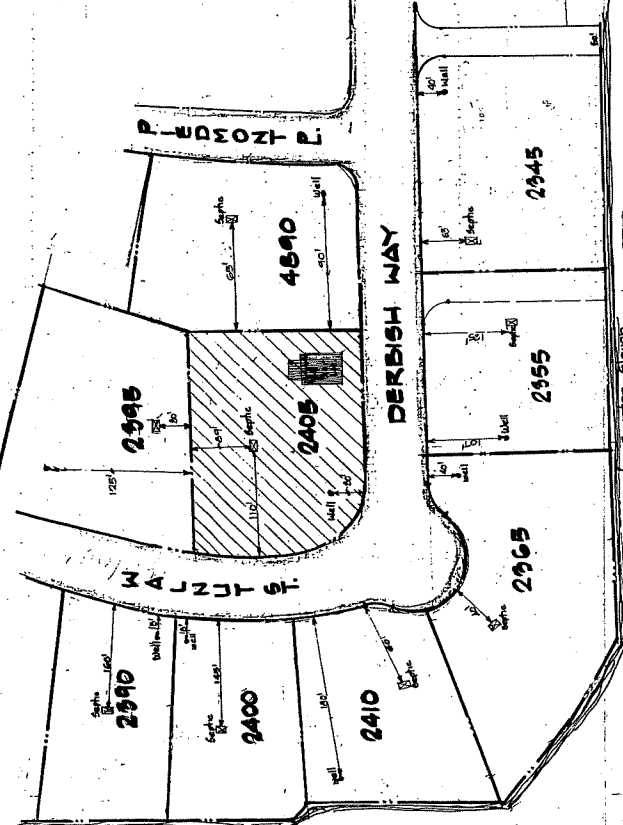
A-1 VICINITY MAP / SITE PLAN



### VICINITY MAP n.t.s

### DESIGN CRITERIA

assessor's parcel number: 021-132-04  
 zoning: mds  
 total building square footage: 2,876 (existing) 350 (addition) 2,526 (total)  
 building code: 2012, lrc - structural design  
 2012, lrc  
 2012, lrc u (garage)  
 occupancy group: vb  
 type of construction: vb

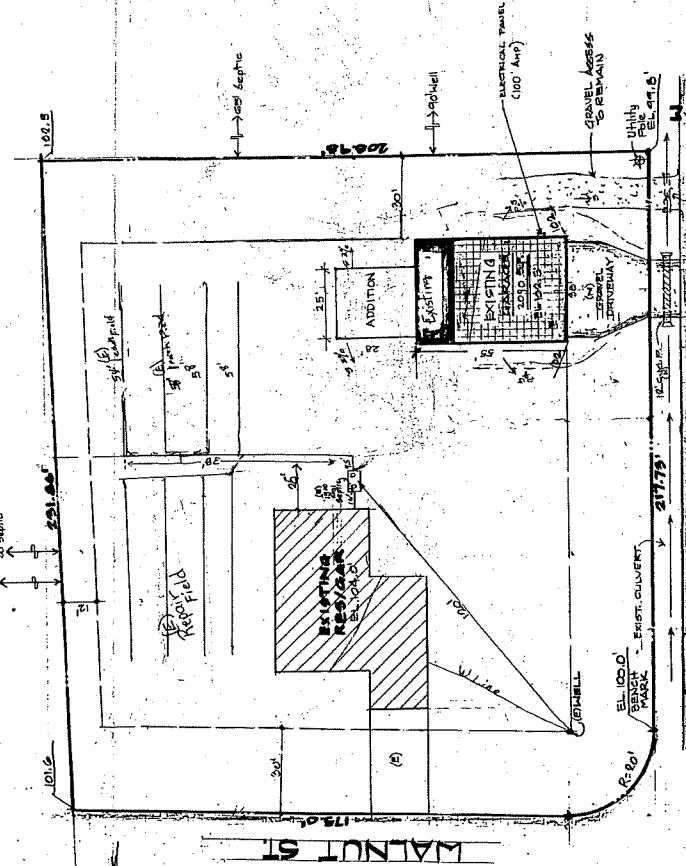


### WELL & SEPTIC LOC'T'N. n.t.s

(within 400')

### ZWEIFEL GARAGE ADDITION

2405 WALNUT ST. RENO, NV



### DERBY WAY SITE PLAN

175' x 200'

OWNER:	
DATE:	
SCALE:	
PROJECT:	



**WASHOE COUNTY**  
**TAMMI DAVIS, TREASURER**  
**Accounts Receivable Payment Listing**

Printed By: nhuangman

Tax Accounts Receivable

Mar-15-2019 09:19 AM

**Report Parameters:**

Business Date Range

From Date: 1/1/2018

To Date: 12/31/2018

**Transaction Types:**

Payment

Reversal

Cancel - No Surplus

Cancel - Create Surplus

Reapply

Reallocate

Bad Check

Apply Advance

Tax Year:

Bill Number:

PIN: 02113204

Revenue Sources:

Property

Accounts Receivable Payment Listing

Date: 03/15/2019

Date	Till	User	Receipt Number	Taxyear	Bill Number	PIN	Tax	Penalty/ Interest/ Discount	Fees/Misc	Total Transaction
02/16/2018	ACH Wire	ling	2017 B17.215565	2017	2017037402	02113204	591.91	0.00	0.00	591.91 Payment
08/09/2018	ACH Wire	ling	2018 B18.30016	2018	2018028275	02113204	616.81	0.00	0.00	616.81 Payment
09/19/2018	ACH Wire	ling	2018 B18.94871	2018	2018028275	02113204	616.77	0.00	0.00	616.77 Payment
12/24/2018	ACH Wire	ling	2018 B18.164995	2018	2018028275	02113204	616.77	0.00	0.00	616.77 Payment

**Total Tax:** 2,442.26  
**Total Penalty:** 0.00  
**Total Interest:** 0.00  
**Total Discount:** 0.00  
**Total Fee:** 0.00  
**Total Misc:** 0.00  
**Grand Total:** 2,442.26

ABBREVIATIONS:

Table listing abbreviations for structural components such as ADL, ALT, ANCHOR BOLT, APPROX, BEAM, BRACKET, etc.

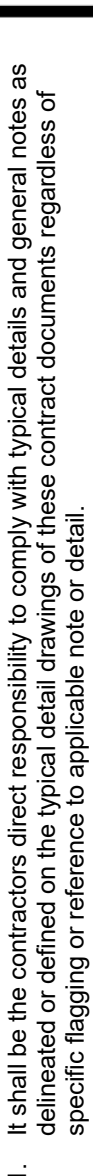
GENERAL NOTES AND SPECIFICATIONS:

- Division 1 - General: Work shall conform to the 2012 IBC and applicable local codes.
Division 2 - Foundation: Foundation shall be designed and constructed in accordance with the IBC and applicable local codes.

ROOF SHEATHING FASTENING SCHEDULE

Table with columns: PANEL, ZONE 1, ZONE 2, ZONE 3, FASTENER SCHEDULE (INCHES ON CENTER), PANEL EDGES, PANEL FIELD.

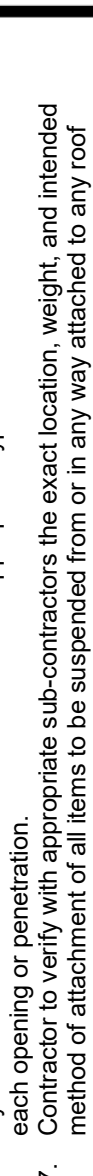
ROOF SHEATHING



HIP ROOF



GABLE ROOF



FRAMING MATERIAL:

1/2" CDX APA Rated (32/16) or OSB equivalent. Apply face grain perpendicular to framing. Stagger panels and nail with 6d's common at 6" o.c. at edges and boundaries (blocking, drag trusses, shear blocks, etc.), and 12" o.c. field. U.N.O. (See special diaphragm nailing requirements table sheet)

ROOF HEADERS:

6x8 D.F. #1 (4x8 D.F. #2 at 2/4 walls) or RMT U.N.O. Provide (2) Trimmers at openings greater than 5'-0" U.N.O.

GENERAL NOTES AND SPECIFICATIONS:

- Division 1 - General: Work shall conform to the 2012 IBC and applicable local codes.
Division 2 - Foundation: Foundation shall be designed and constructed in accordance with the IBC and applicable local codes.

REVISIONS

Table with columns: #, DATE, REVISIONS.

DEI Engineers logo and contact information: 4790 Caughlin Parkway #766, Reno, NV 89519. Phone: 775.329.2733.

STRUCTURAL ONLY stamp with date: 1/25/2017 10:43:18 AM.

ZWEIFEL GARAGE ADDITION

2405 WALNUT ST., RENO, NV

Drawings and specifications information: DRAWN BY CSB, CHECKED BY BDD, DATE 1-25-2017, SCALE AS NOTED, JOB NO. B16820, SHEET NO. S0.1 OF SHEETS.

CONNECTION CROSS REFERENCE

Table mapping Simpson Strong-Tie connectors (e.g., STB16, C86) to USIP Structural Connectors (e.g., H4D10, H4D10).

HOLDOWN SPECIFICATION TABLE

Table with columns: HOLDOWN, CL THICKNESS, SCREWS/BOLTS CHANNELS, A.B. DIA., EMBEDMENT, FOOTING, SCSL, PAIR, DRL, POUR, SSTS BOLT.

MAIL SPECIFICATIONS

Table with columns: NAIL TYPE, NOMINAL DIAMETER (GAGE), NOMINAL LENGTH, MIN. EMBED FOR P.W. SHEATHING, MIN. NAIL LENGTH.

FOOTING AND STEINWALL REQUIREMENTS

8" Wide w/ (1) #4 continuous top and #4 at 48" o.c. vertical. hook at footing (alternate hooks). Top of stemwall exceeds 36" above top of footing. Use #4 at 16" o.c. horizontal stemwalls and #4 at 24" o.c.

THREADED ROD END CONDITION AT HOLDOWNS



SOILS & FOUNDATIONS

Dunagan Engineering, Inc. has not made a geotechnical review of the building site and is not responsible for general site stability or soil suitability for the proposed project.

TRUSSES (if used)

Engineering to be provided by truss manufacturer. The truss manufacturer shall provide shop drawings for approval by this engineer and shall be responsible for the design and certification of the trusses.

TRUSS REVIEW APPROVAL:

CONTRACTOR: OWNER / BUILDER. DATE: TRUSS MANUFACTURER: PIEDMONT TRUSS.

DUNAGAN ENGINEERING INC.

Truss Manufacturer to design "bush" trusses to resist the lateral load indicated on plans (minimum shear load = 1500 lbs).

TRUSS LOADING:

Table with columns: TYPICAL, 23 PSF, 10 PSF, 8 PSF, 41 PSF.

GENERAL NOTES & TYPICAL DETAILS

- S0.1 GENERAL NOTES & TYPICAL DETAILS
S0.2 TYPICAL DETAILS
S0.3 TYPICAL AND STRUCTURAL DETAILS
S1.1 FOUNDATION PLAN, STRUCTURAL / ELECTRICAL FLOOR PLAN, ROOF FRAMING PLAN AND SECTION
S1.2 ELEVATIONS

REVISIONS	DATE	DESCRIPTION
1		

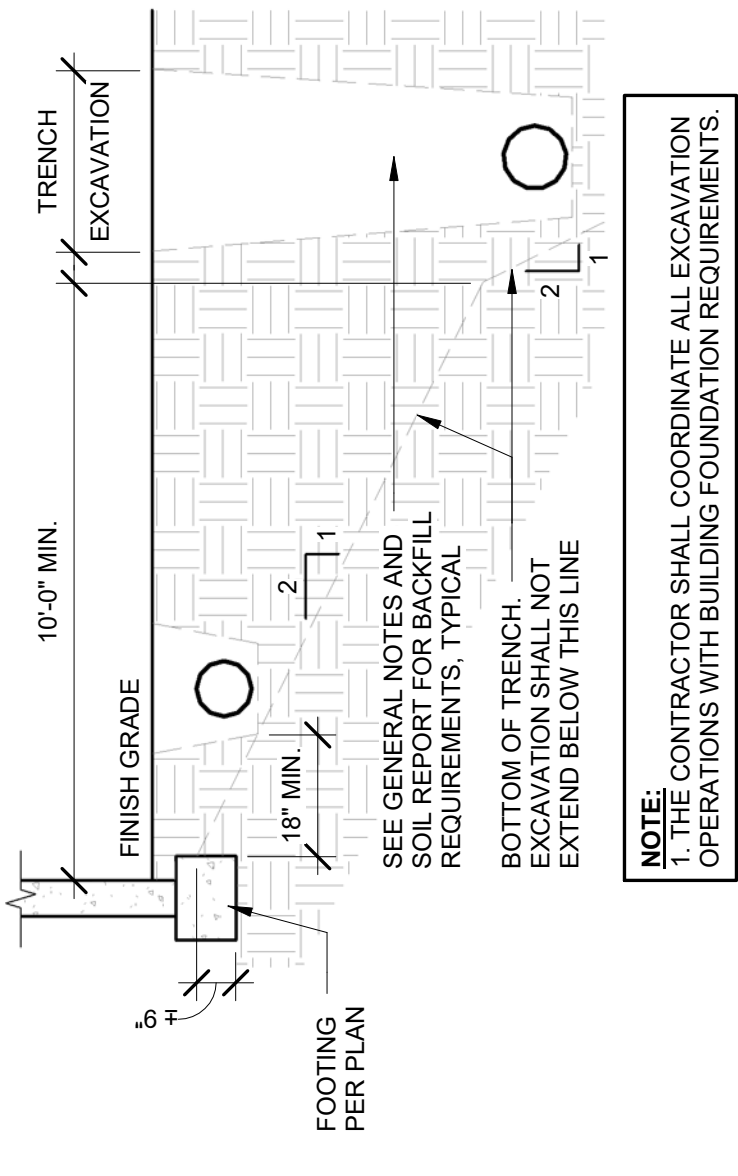
**DEI**  
*engineers*

Dunagan Engineering, Inc.  
4790 Caughlin Parkway #766, Reno, NV 89519  
T: 775.329.2733 F: 888.873.0790 W: DEIengineers.com

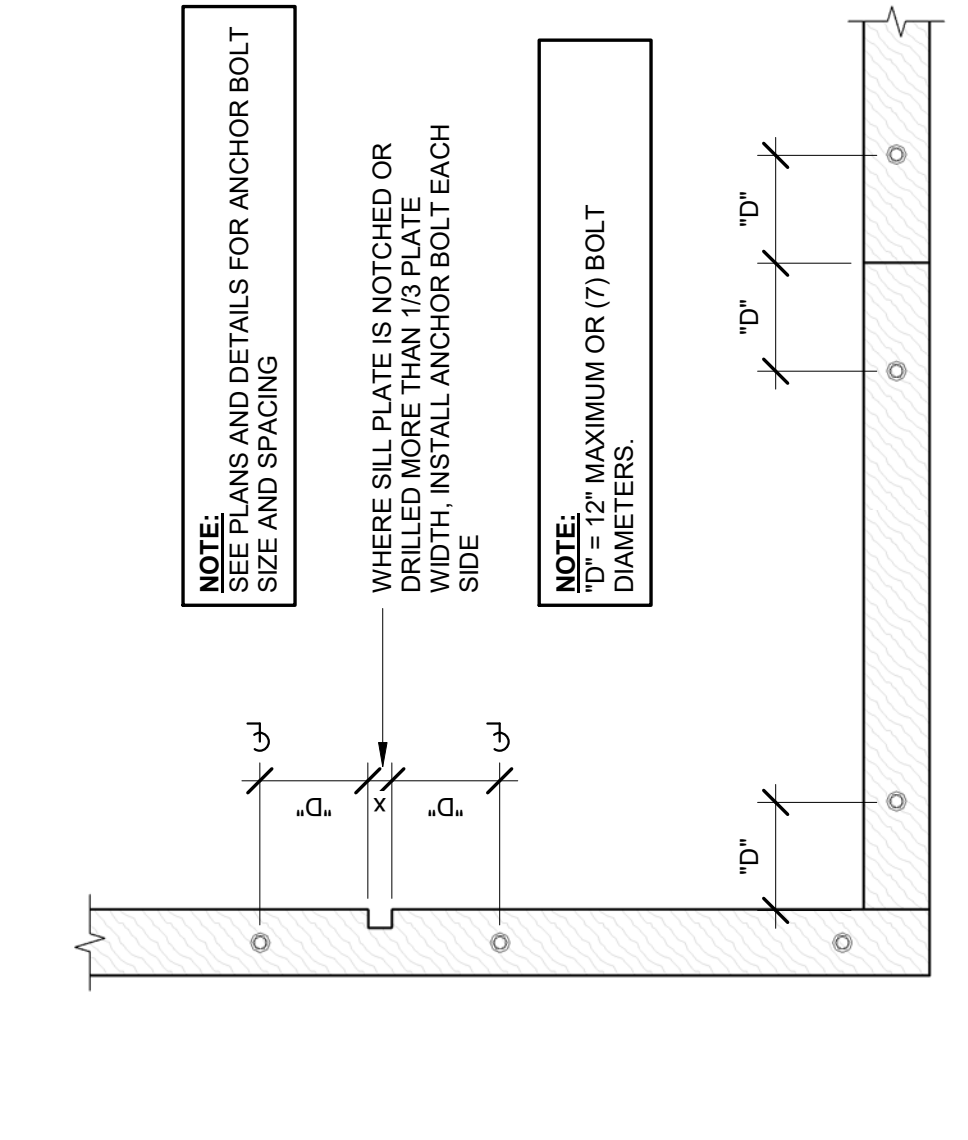
STRUCTURAL ONLY

ROBERT C. CORBIN  
PROFESSIONAL ENGINEER - STATE OF NEVADA  
LICENSE NO. 21332  
EXPIRES 12/31/18

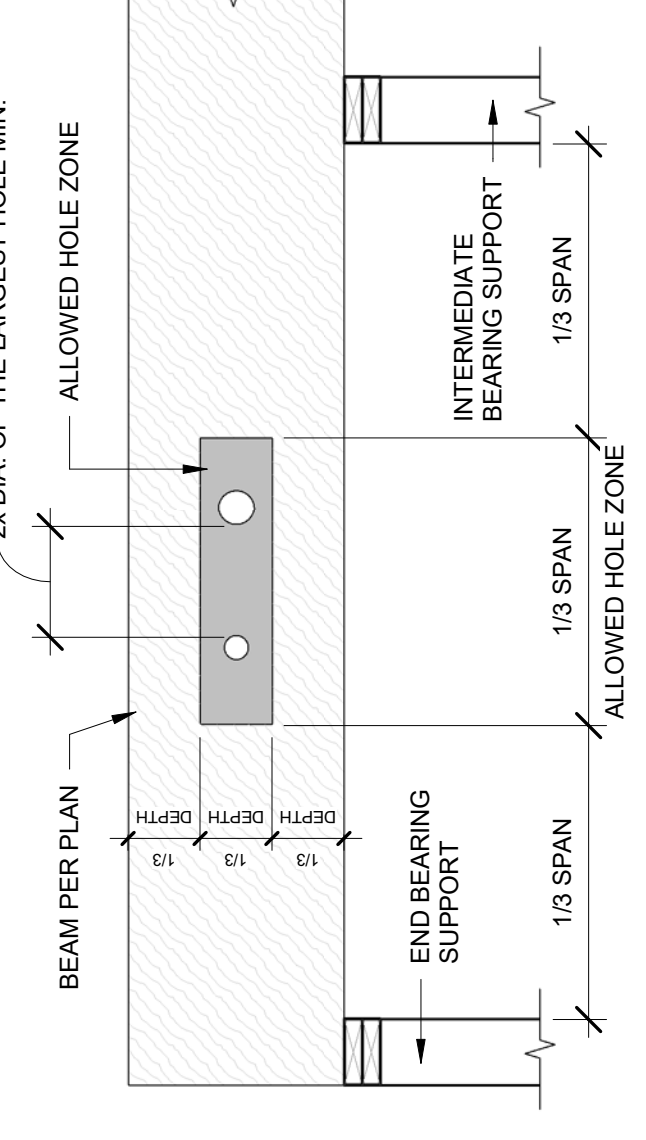
1/25/2017 10:43:24 AM



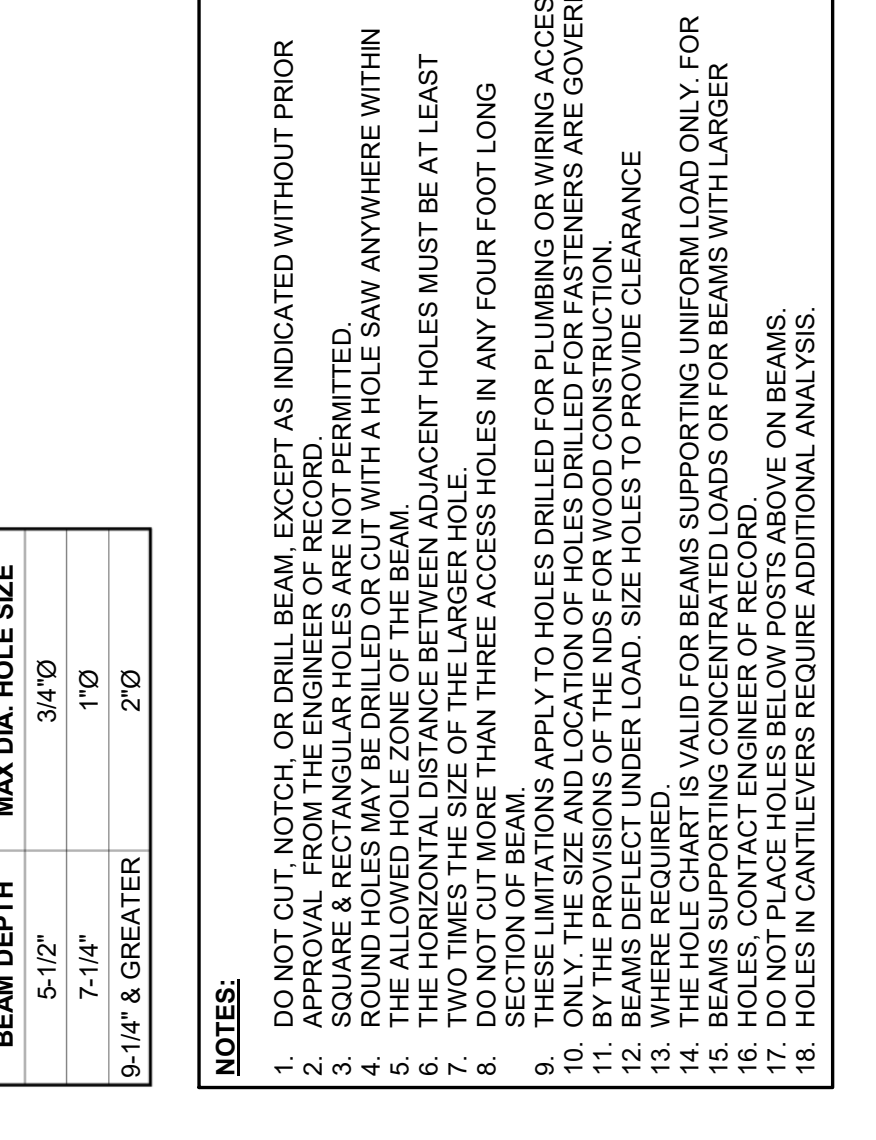
**4 EXCAVATION PARALLEL TO FOOTING**  
3/4" = 1'-0"



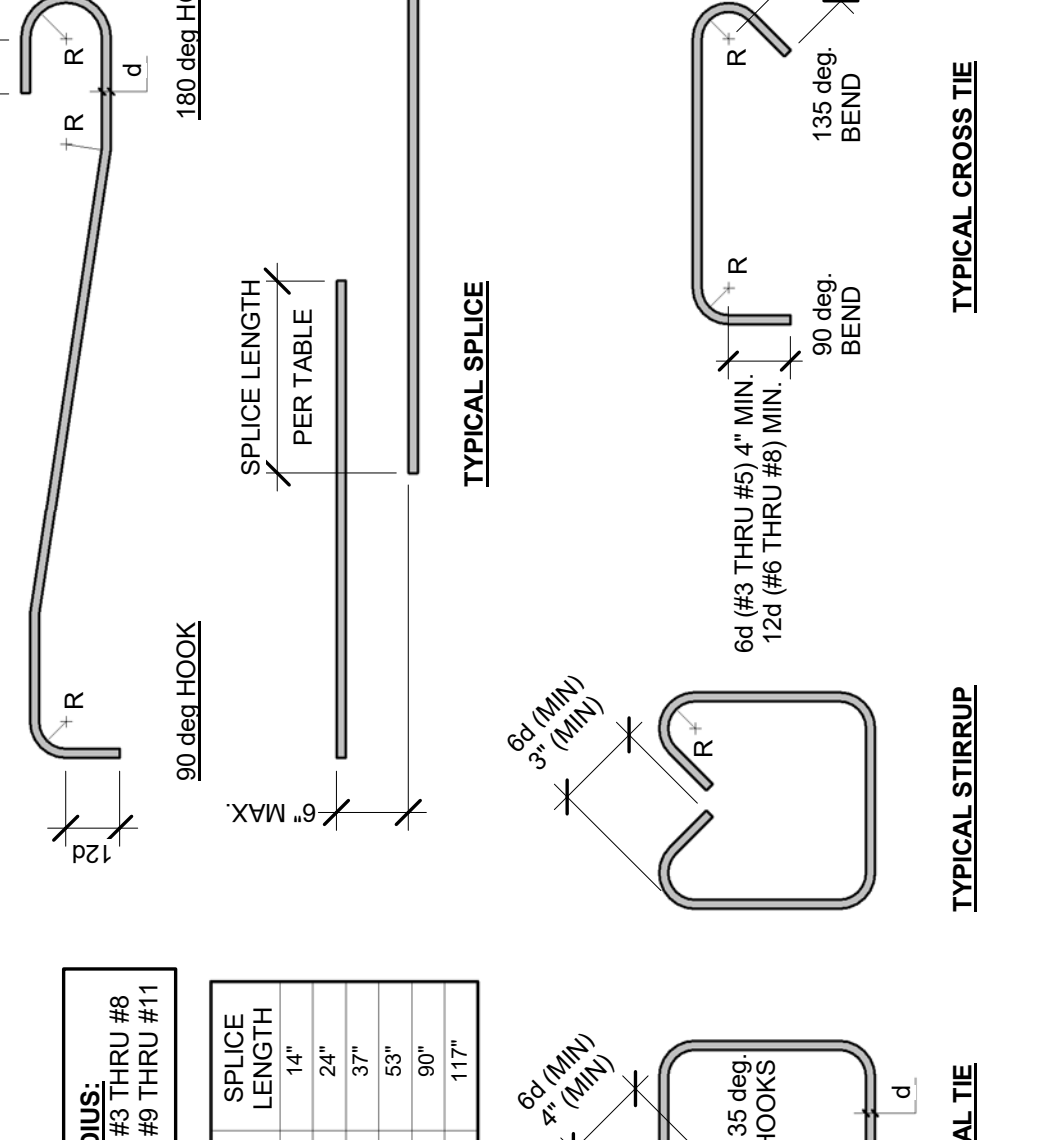
**7 SILL PLATE DETAIL**  
3/4" = 1'-0"



**3 BLOCKED DIAPHRAGM**  
1 1/2" = 1'-0"



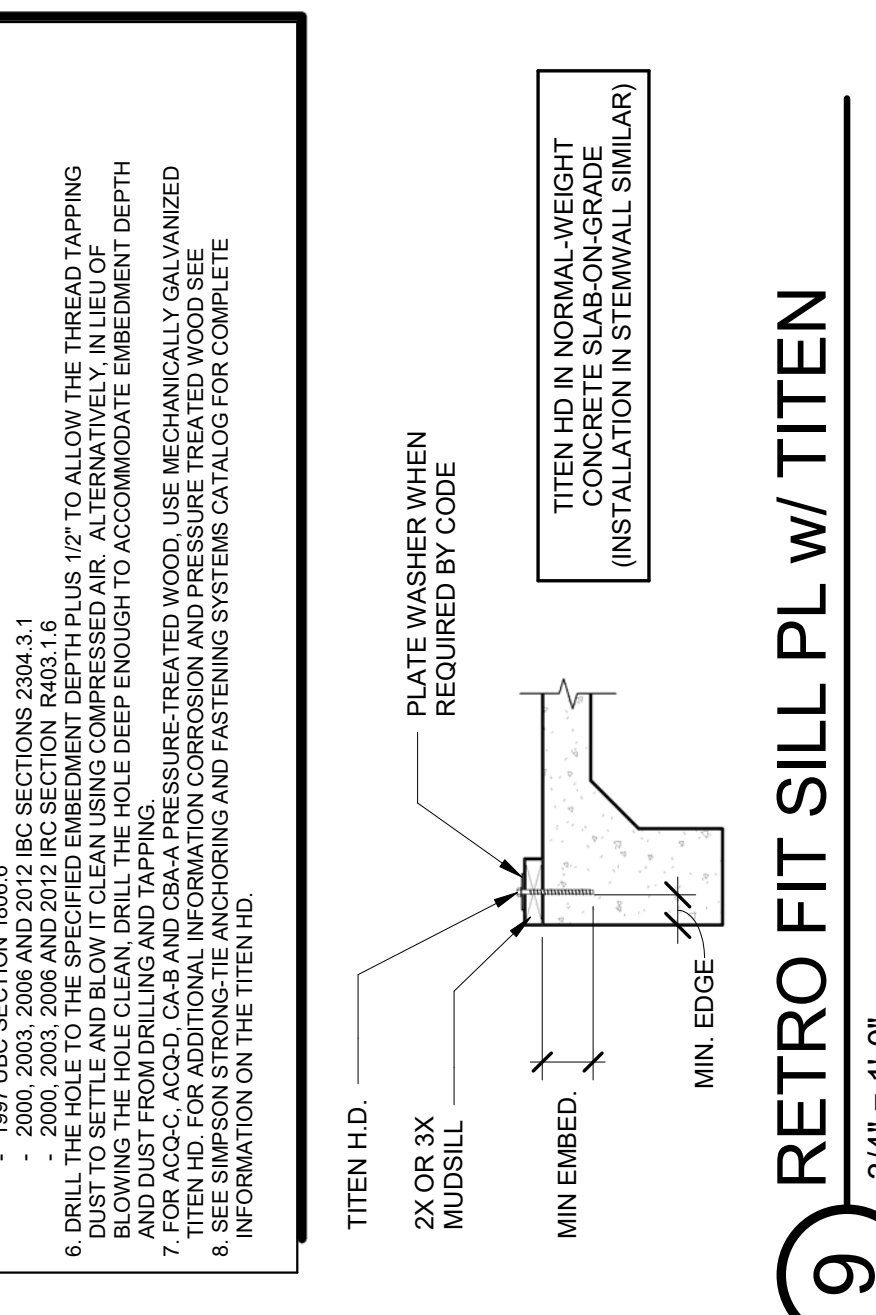
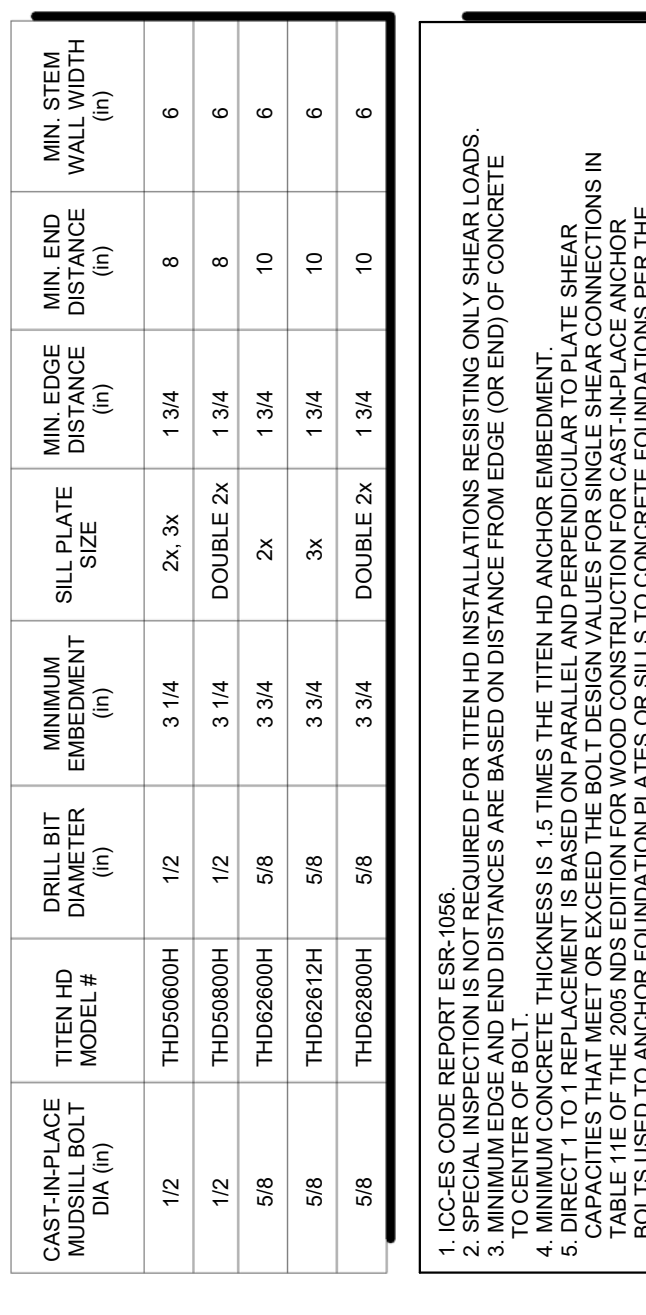
**2 PIPE THRU STEMWALL & REINFORCING**  
3/4" = 1'-0"



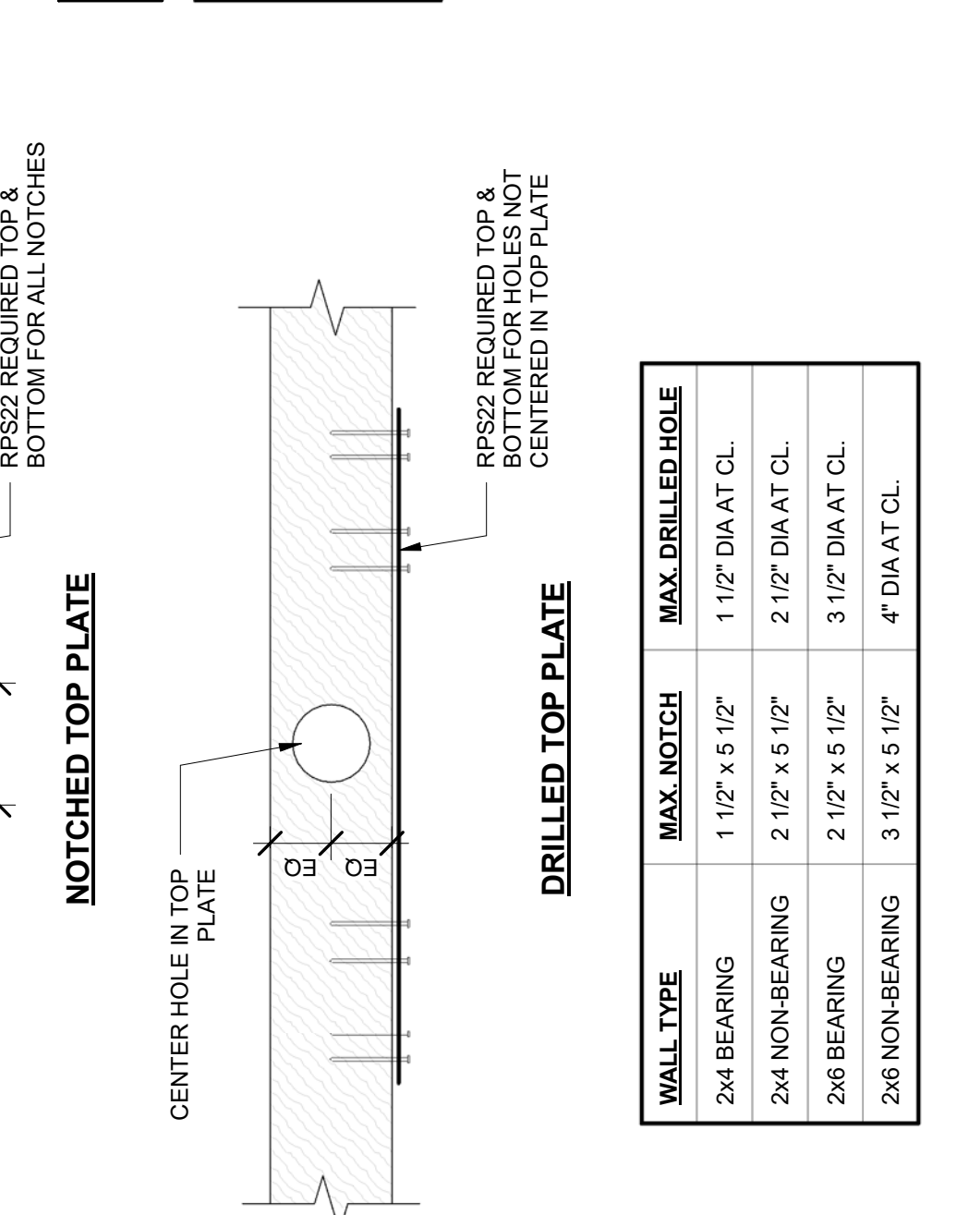
**1 TYPICAL SOIL PREPARATION**  
3/4" = 1'-0"



**6 HOLES IN BEAM**  
3/4" = 1'-0"



**9 RETRO FIT SILL PL W/ TITEN**  
3/4" = 1'-0"



**10 THREADEROD RETROFIT**  
3/4" = 1'-0"

SIMPSON STRONG-TIE TITEN HD AS A 1 TO 1 REPLACEMENT FOR MUDSILL ANCHOR BOLTS FOR SHEAR LOAD APPLICATIONS

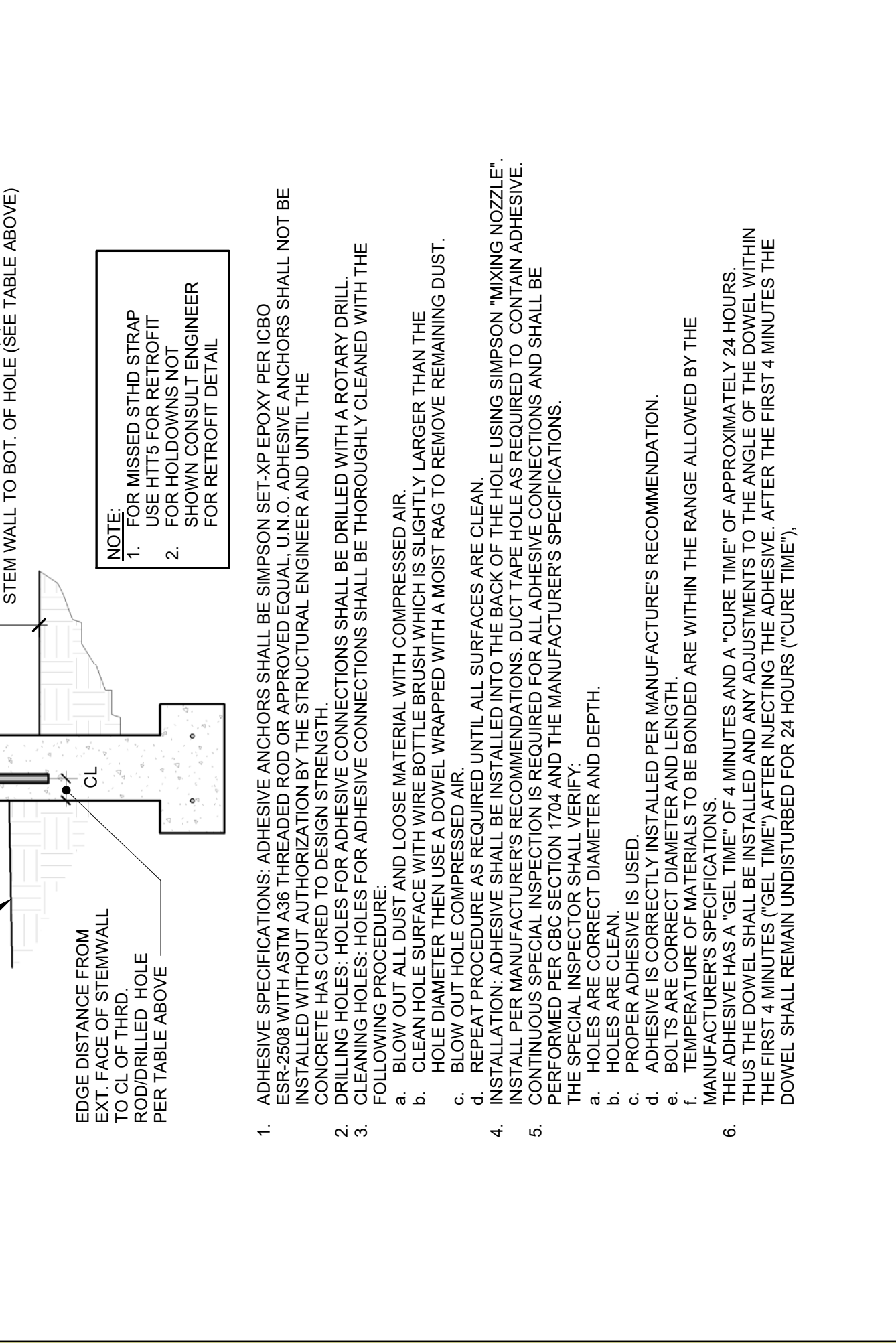
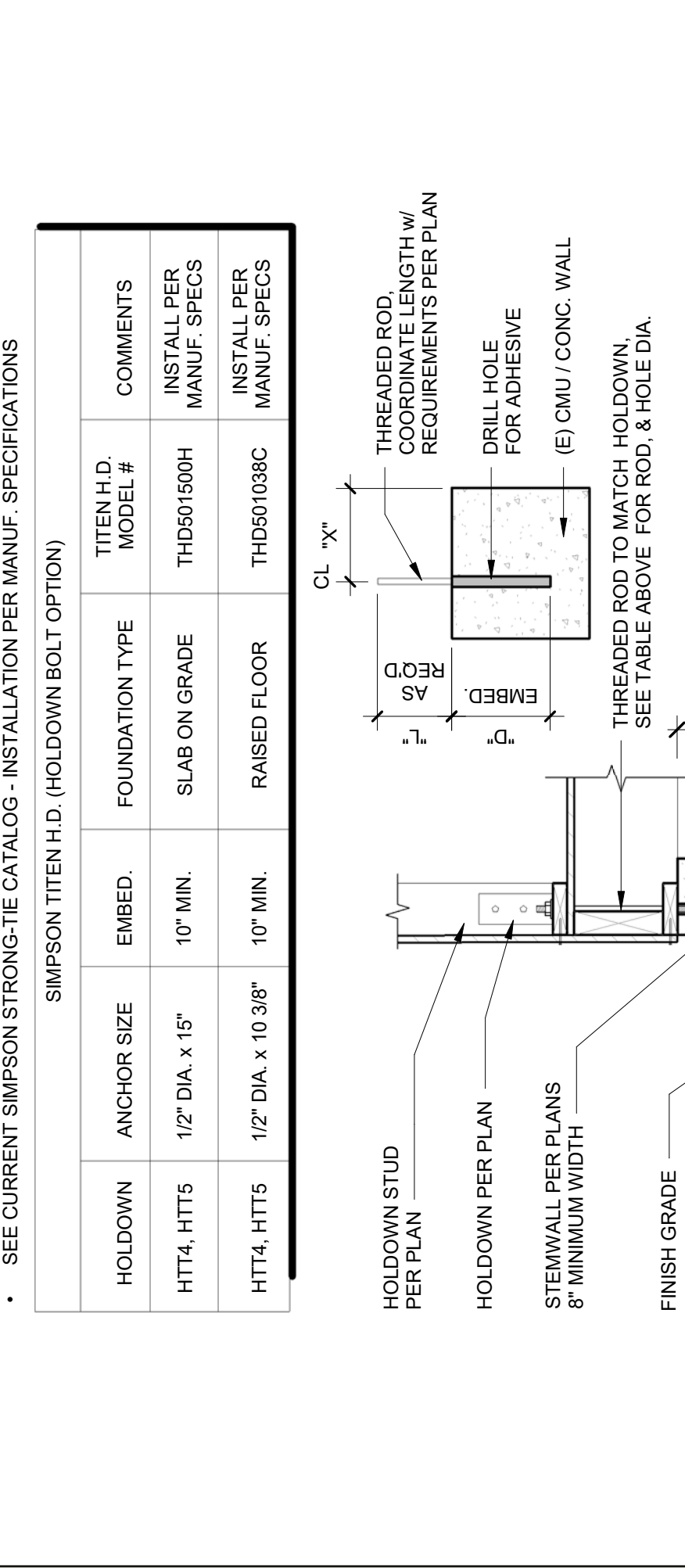
CAST-IN-PLACE BOLT DIA (IN)	TITEN HD MODEL #	DRILL BIT DIAMETER (IN)	MINIMUM EMBEDMENT (IN)	SILL PLATE SIZE	MIN. EDGE DISTANCE (IN)	MIN. END DISTANCE (IN)	MIN. STEM WALL WIDTH (IN)
1/2	THD50600H	1/2	3.14	2x, 3x	1.34	8	6
1/2	THD50800H	1/2	3.14	DOUBLE 2x	1.34	8	6
5/8	THD62000H	5/8	3.34	2x	1.34	10	6
5/8	THD62120H	5/8	3.34	3x	1.34	10	6
5/8	THD62800H	5/8	3.34	DOUBLE 2x	1.34	10	6

**1. ICCES CODE REPORT ESR-1056 - USED FOR TITEN HD INSTALLATIONS RESISTING ONLY SHEAR LOADS.**  
2. MINIMUM EDGE AND END DISTANCES ARE BASED ON DISTANCE FROM EDGE (OR END) OF CONCRETE TO CENTER OF BOLT.  
3. THICKNESS 2 & 4 TIMES THE TITEN HD ANCHOR EMBEDMENT.  
4. CAPACITIES THAT MEET OR EXCEED THE BOLT DESIGN VALUES FOR SINGLE SHEAR CONNECTIONS IN CONCRETE ARE LISTED IN THE FOLLOWING TABLES. CAPACITIES FOR TITEN HD ANCHORS ARE LISTED IN THE FOLLOWING SECTIONS OF THE CODE:  
- 2009 IBC, SECTION 1905.3 IRC SECTION 2304.3.1  
- 2000, 2003, 2006 AND 2012 IRC SECTION R403.1.6  
- 2003, 2006 AND 2012 IRC SECTION R403.1.6  
6. DRILL THE HOLE TO THE SPECIFIED EMBEDMENT DEPTH PLUS 1/4" TO ALLOW THE THREAD TAPPING AND DUST FROM DRILLING AND TAPPING.  
7. BLOWING THE HOLE CLEAN, DRILL THE HOLE DEEP ENOUGH TO ACCOMMODATE EMBEDMENT DEPTH AND DUST FROM DRILLING AND TAPPING.  
8. USE MECHANICALLY GALVANIZED TITEN HD FOR ADDITIONAL INFORMATION ON CORROSION AND PRESSURE TREATED WOOD SEE INFORMATION ON THE TITEN HD.  
9. SEE SIMPSON STRONG-TIE ANCHORING AND FASTENING SYSTEMS CATALOG FOR COMPLETE INFORMATION ON THE TITEN HD.

SEE CURRENT SIMPSON STRONG-TIE CATALOG - INSTALLATION PER MANUF. SPECIFICATIONS

SIMPSON TITEN H.D. (HOLDOWN BOLT OPTION)

HOLDOWN	ANCHOR SIZE	EMBED.	FOUNDATION TYPE	TITEN H.D. MODEL #	COMMENTS
HTT4, HTT5	1/2" DIA. x 15"	10" MIN.	SLAB ON GRADE	THD501500H	INSTALL PER MANUF. SPECS
HTT4, HTT5	1/2" DIA. x 10.38"	10" MIN.	RAISED FLOOR	THD501038C	INSTALL PER MANUF. SPECS



**3 BLOCKED DIAPHRAGM**  
1 1/2" = 1'-0"

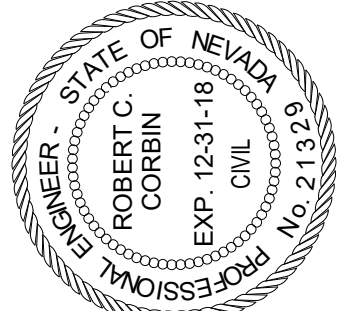


REV.	DATE	DESCRIPTION	BY

**DEI**  
*engineers*  
**Dunagan Engineering, Inc.**

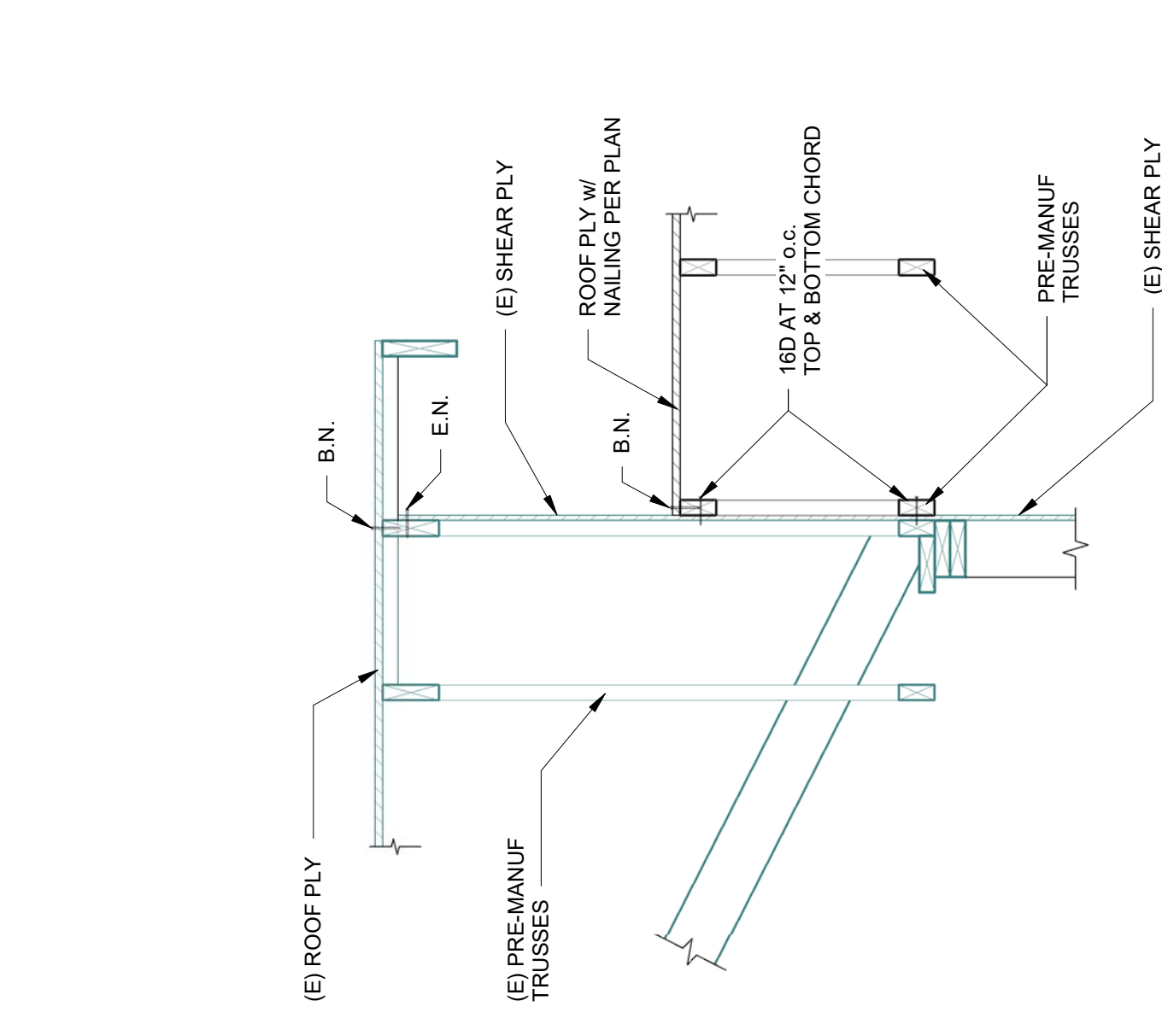
4790 Caughlin Parkway #766, Reno, NV 89519  
T: 775.329.2733 F: 888.873.0790 | W: DEIengineers.com

STRUCTURAL ONLY

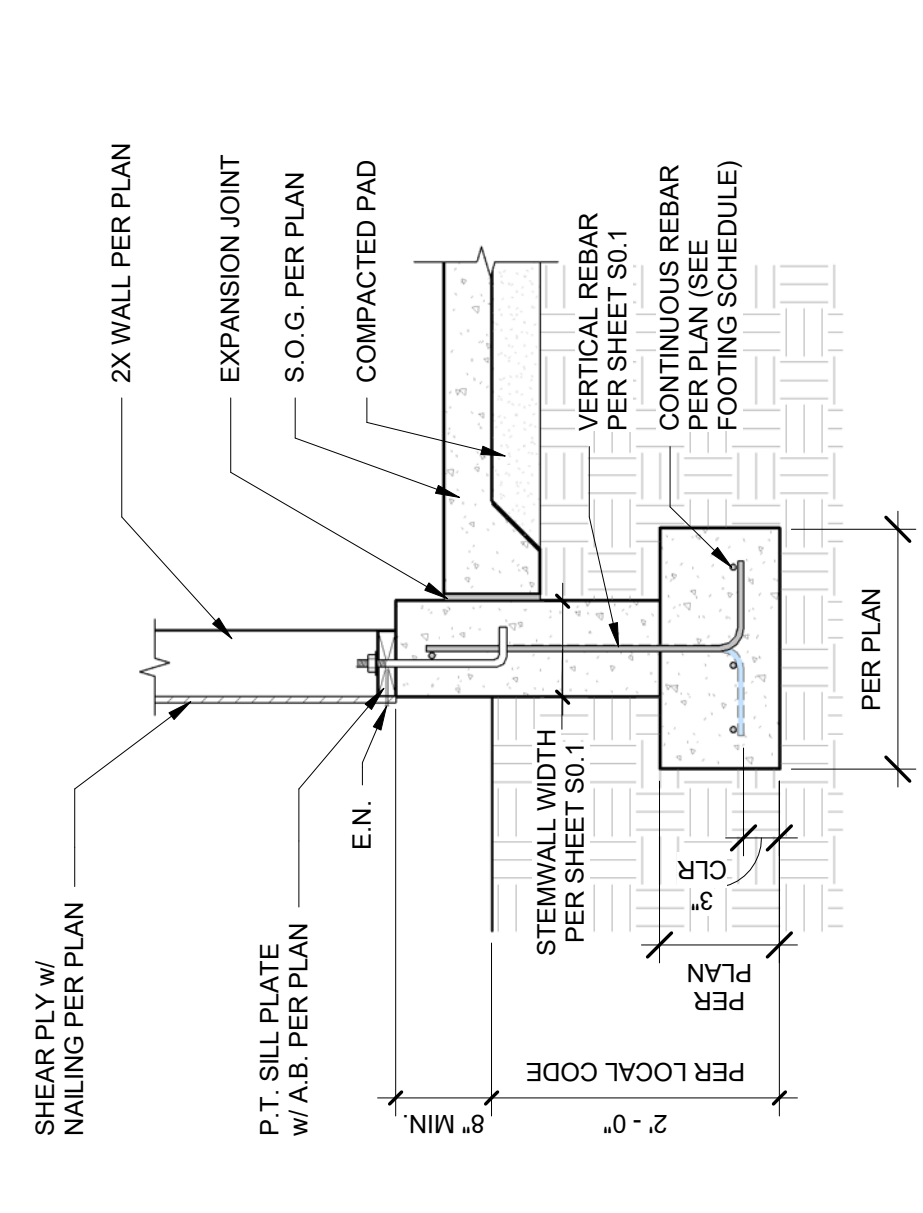


ROBERT C. CORBIN  
EXP. 12/31/18  
CIVIL  
21332

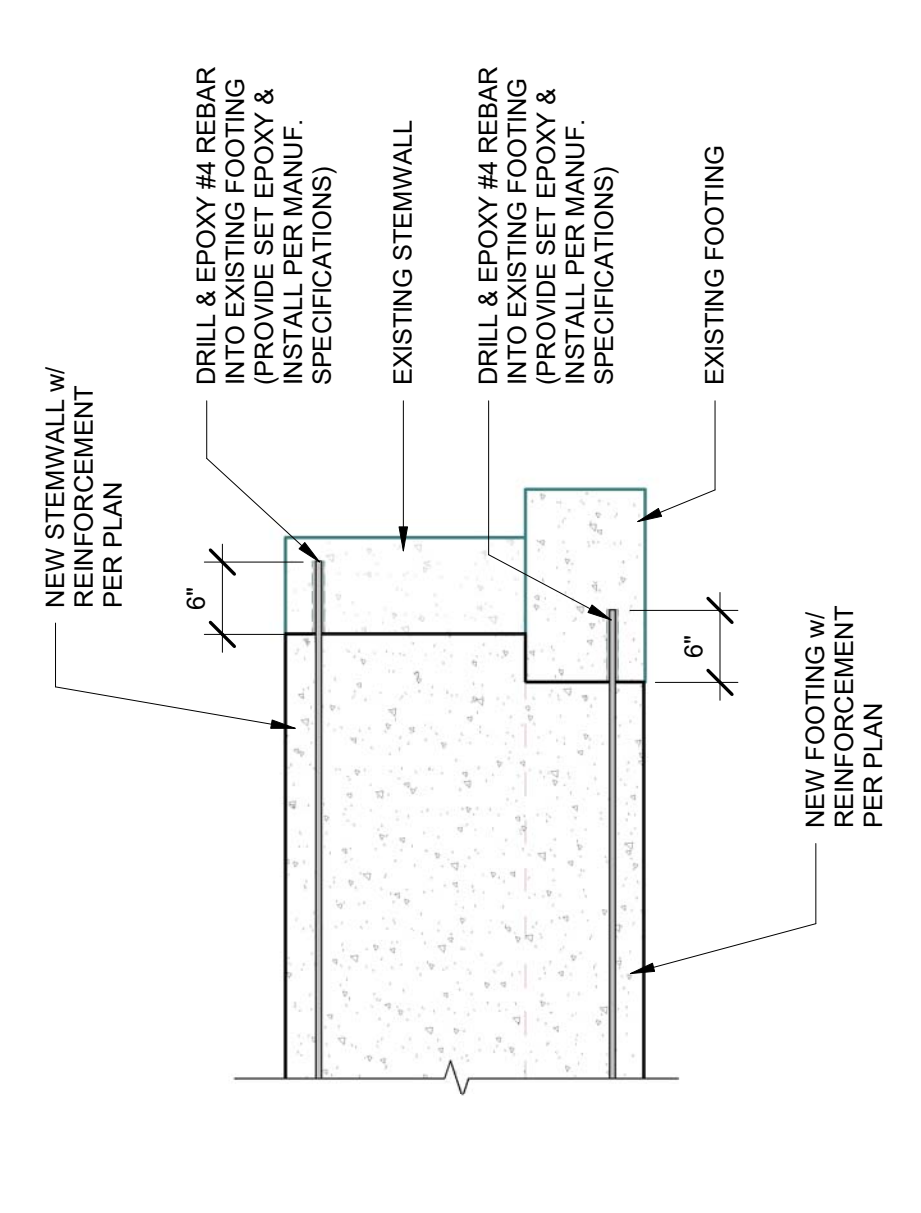
1/25/2017 10:43:28 AM



**3** **DETAIL**  
3/4" = 1'-0"  
320-272M

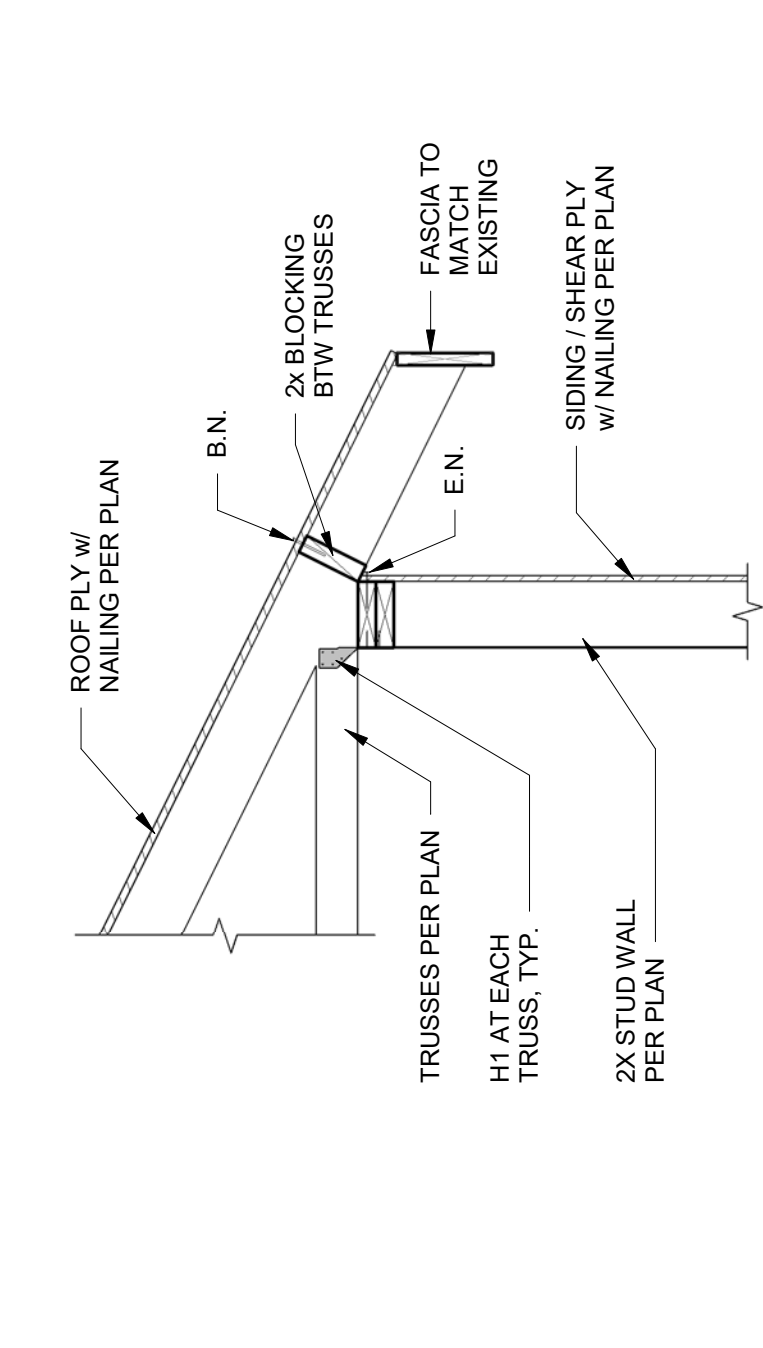


**2** **DETAIL**  
3/4" = 1'-0"  
110-303

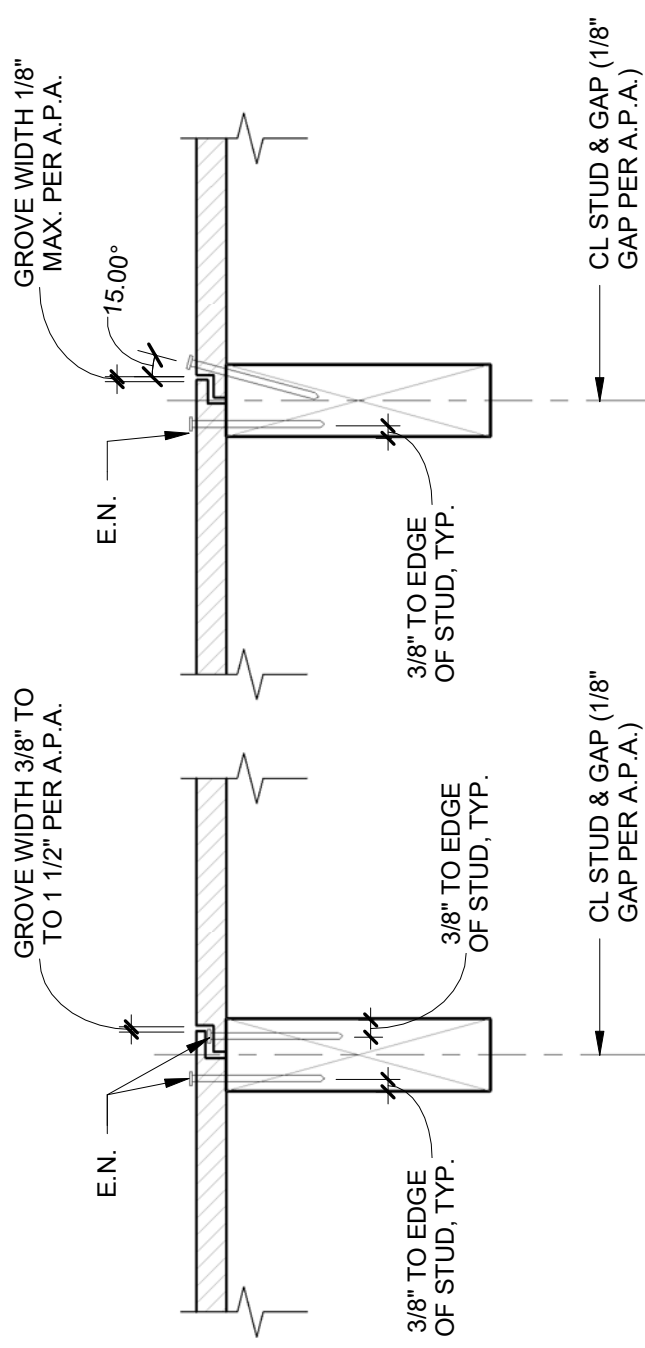


**1** **DETAIL**  
3/4" = 1'-0"  
110-020

**NOTES:**  
1. DRILL & EPOXY #4 REBAR AS FOLLOWS:  
- 1/2" DIA. BORE HOLE  
- 6" MIN. CONCRETE EMBEDMENT  
- SIMPSON SET EPOXY (INSTALL PER MANUFACTURER'S SPECS.)  
2. SPECIAL INSPECTION NOT REQUIRED.

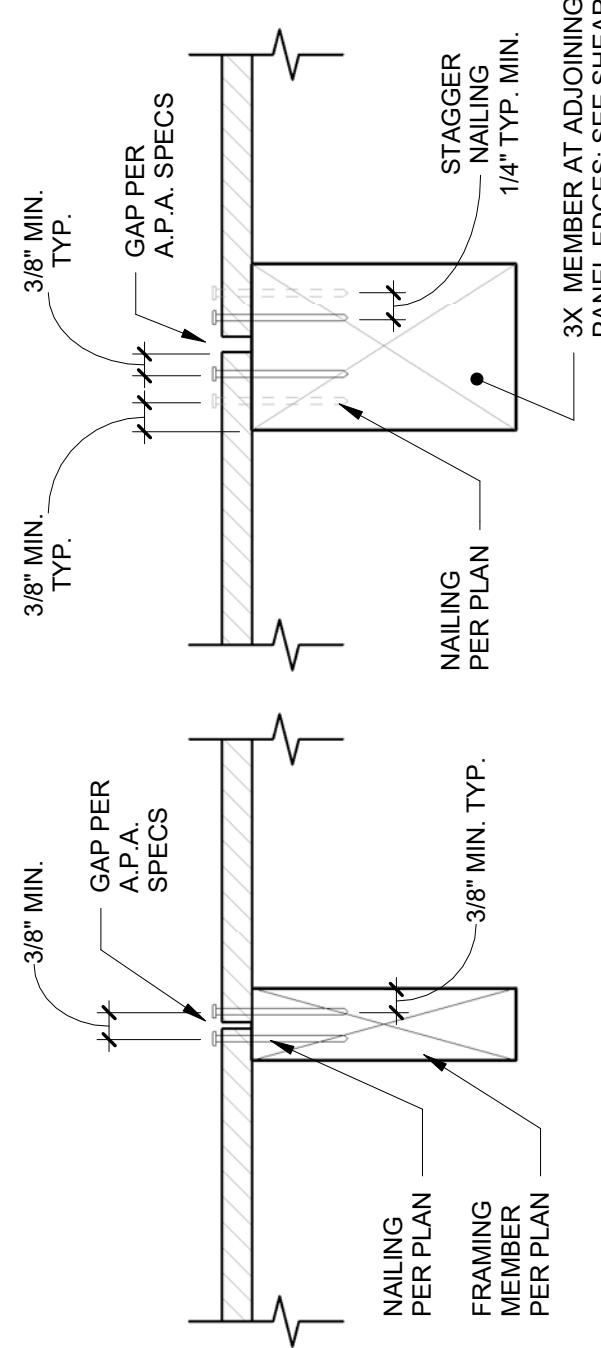


**7** **DETAIL**  
3/4" = 1'-0"  
320-200M

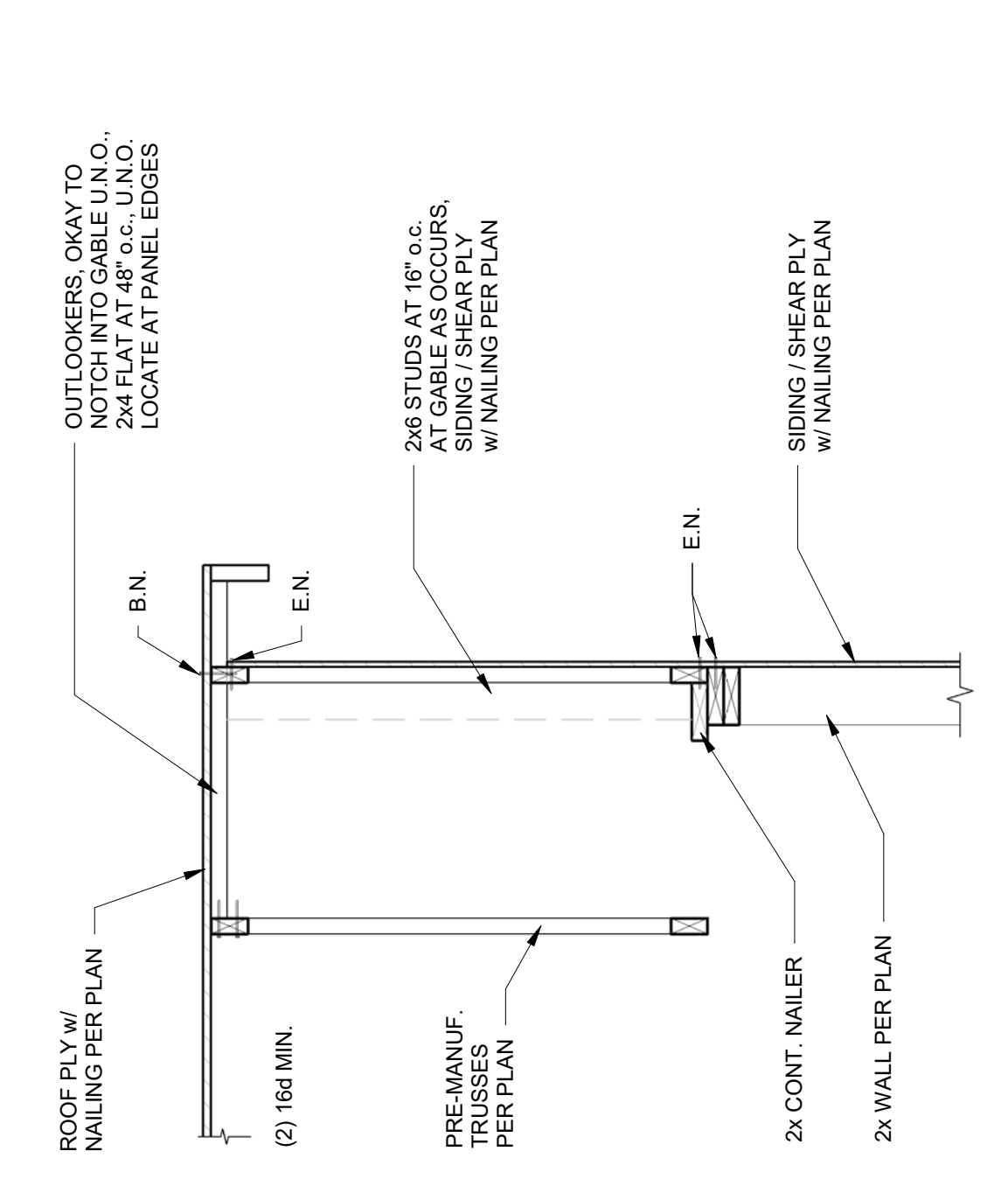


**6** **SIDING NAILING**  
3" = 1'-0"

**NOTE:**  
PLYWOOD SHEETS ARE TO BE AS LARGE AS POSSIBLE (MIN. 2'x4'). NAIL HEADS SHALL BE DRIVEN FLUSH WITH TOP OF LAMINATION



**5** **PLYWOOD NAILING**  
3" = 1'-0"



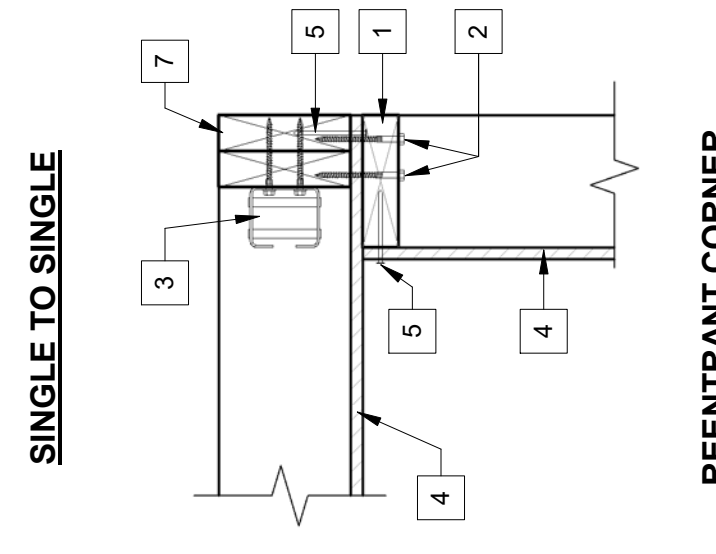
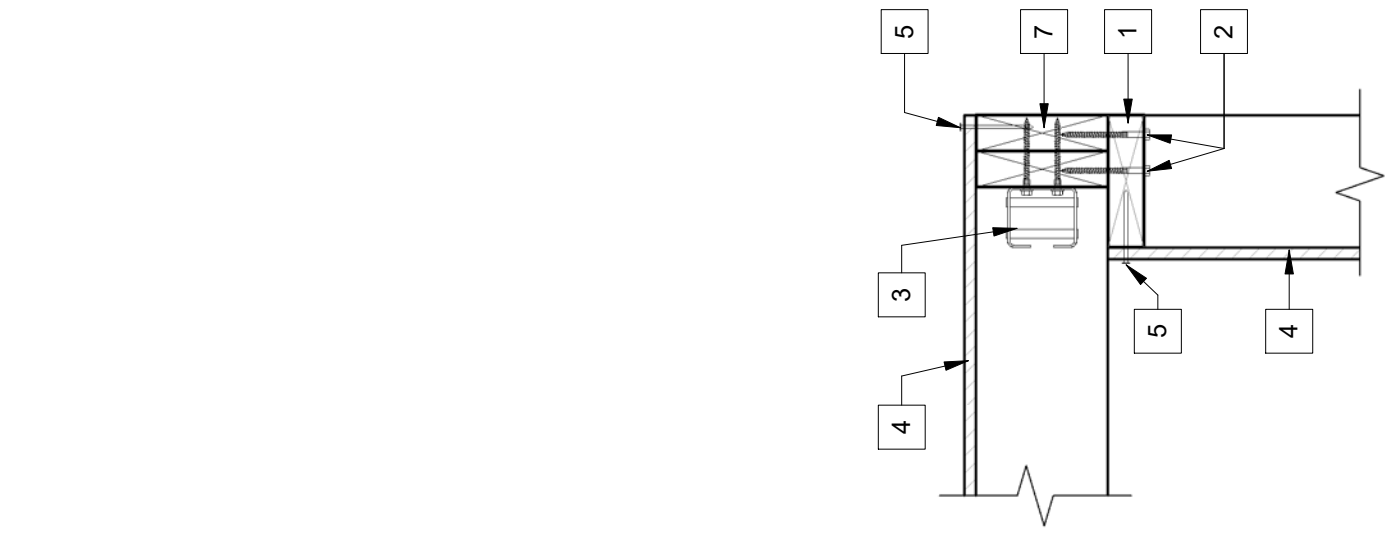
**4** **DETAIL**  
3/4" = 1'-0"  
320-308

**LEGEND:**

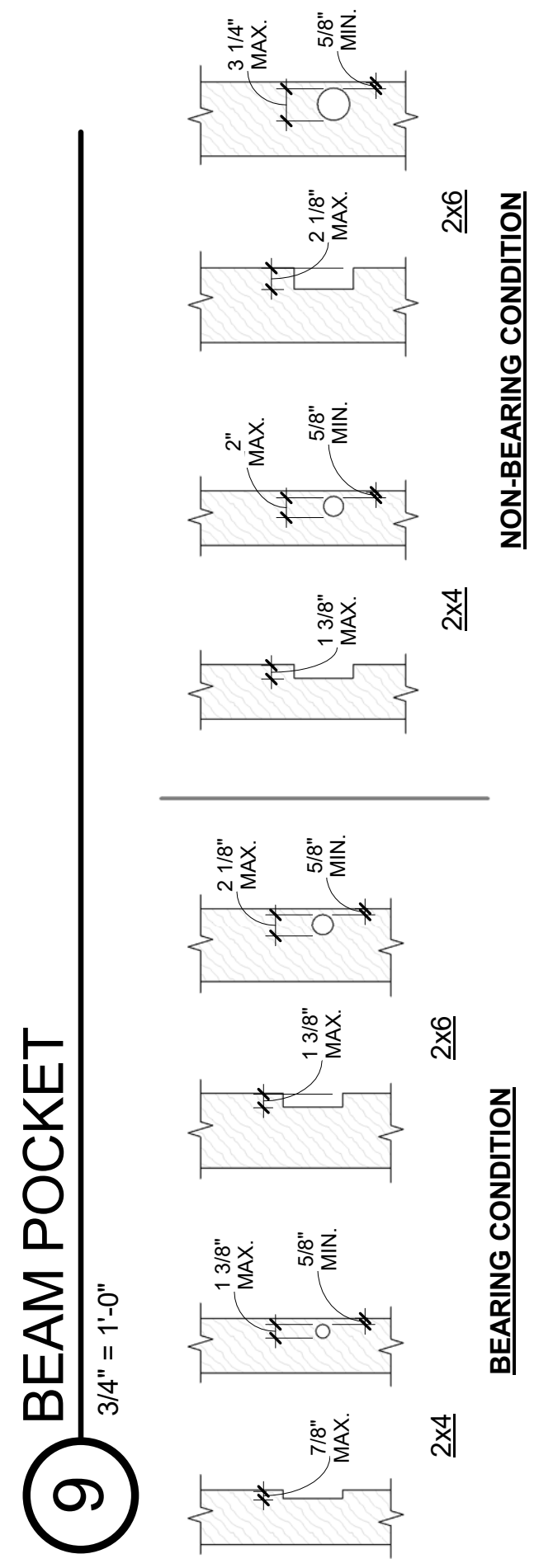
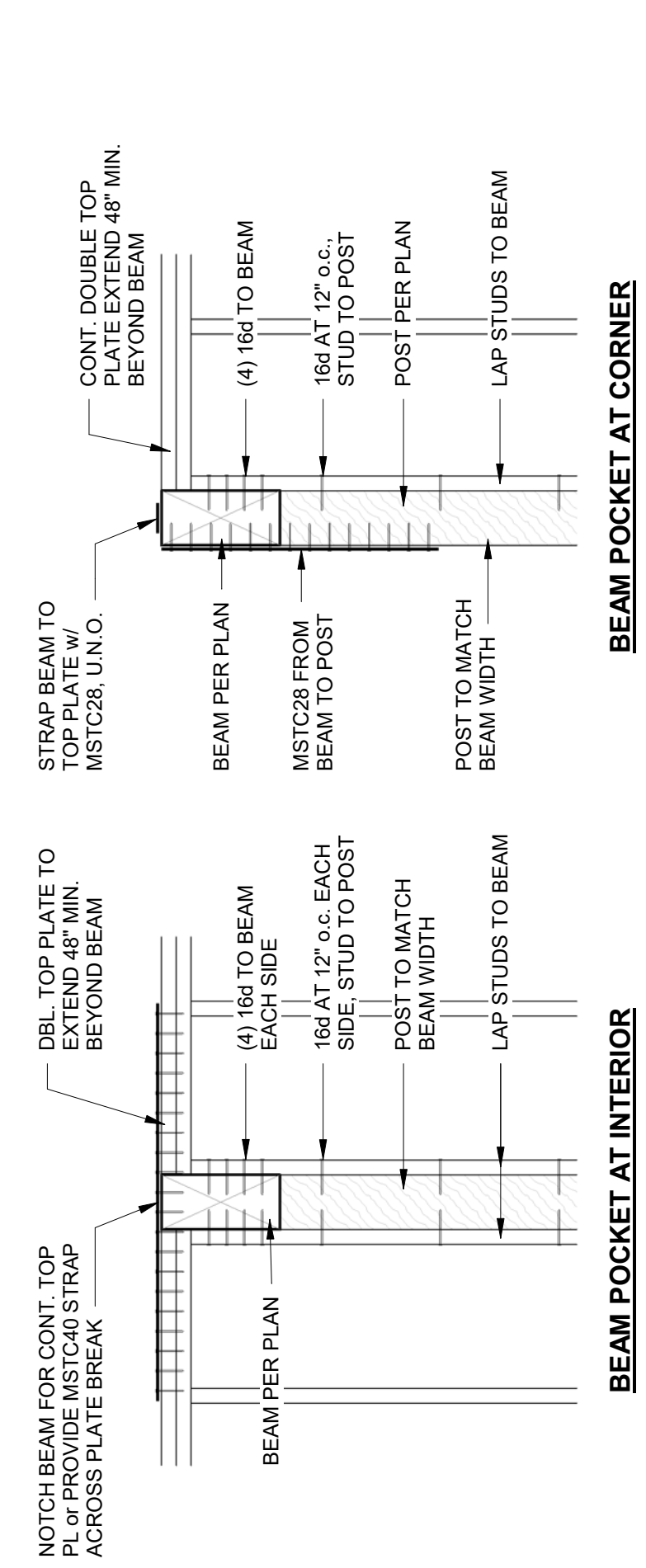
- 1 2x OR 3x MEMBER RECEIVING SHEARWALL EDGE NAIL (SEE SHEAR WALL SCHEDULE)
- 2 FOR TYPE "5" & "4" SHEARWALLS, USE (2) 16d NAILS AT 6" O.C.
- 3 ALL OTHER SHEARWALL TYPES USE SDS 1/4" TO 3/4" SCREWS AT 4" O.C. STAGGERED ABOUT CENTERLINE OF STUD
- 4 SHEAR PLY PER PLAN
- 5 EDGE NAILING (SEE SHEAR WALL SCHEDULE)
- 6 SOLID FRAMING
- 7 HOLD-DOWN POSTS / STUDS PER PLAN (SEE SHEARWALL SCHEDULE)
- 8 CROSS WALL INTERRUPTING SHEARWALL

**NOTES:**

1. THIS DETAIL SUPERCEDES HOLD-DOWN SCHEDULE, I.E. NO DOUBLE STUDS PER HOLD-DOWN SCHEDULE. CONNECT HOLD-DOWNS AS SHOWN.
2. SIMILAR SITUATIONS GET SIMILAR CONNECTIONS.
3. EVERY EXTERIOR / PERIMETER / LOAD BEARING CORNER GETS MINIMUM (3) STUDS OR (1) HOLD-DOWN POST & (7) STUD



**10** **HOLD-DOWN IN CORNER**  
1 1/2" = 1'-0"



**NOTE:**  
BEARING or NON-BEARING WALLS MAY BE DRILLED 2" FOR 2x4 AND 3 1/4" FOR 2x6 WALLS. w/ 5/8" EDGE DISTANCE. IF STUDS ARE DOUBLED AND NOT MORE THAN (2) SUCCESSIVE DOUBLED STUDS ARE DRILLED.

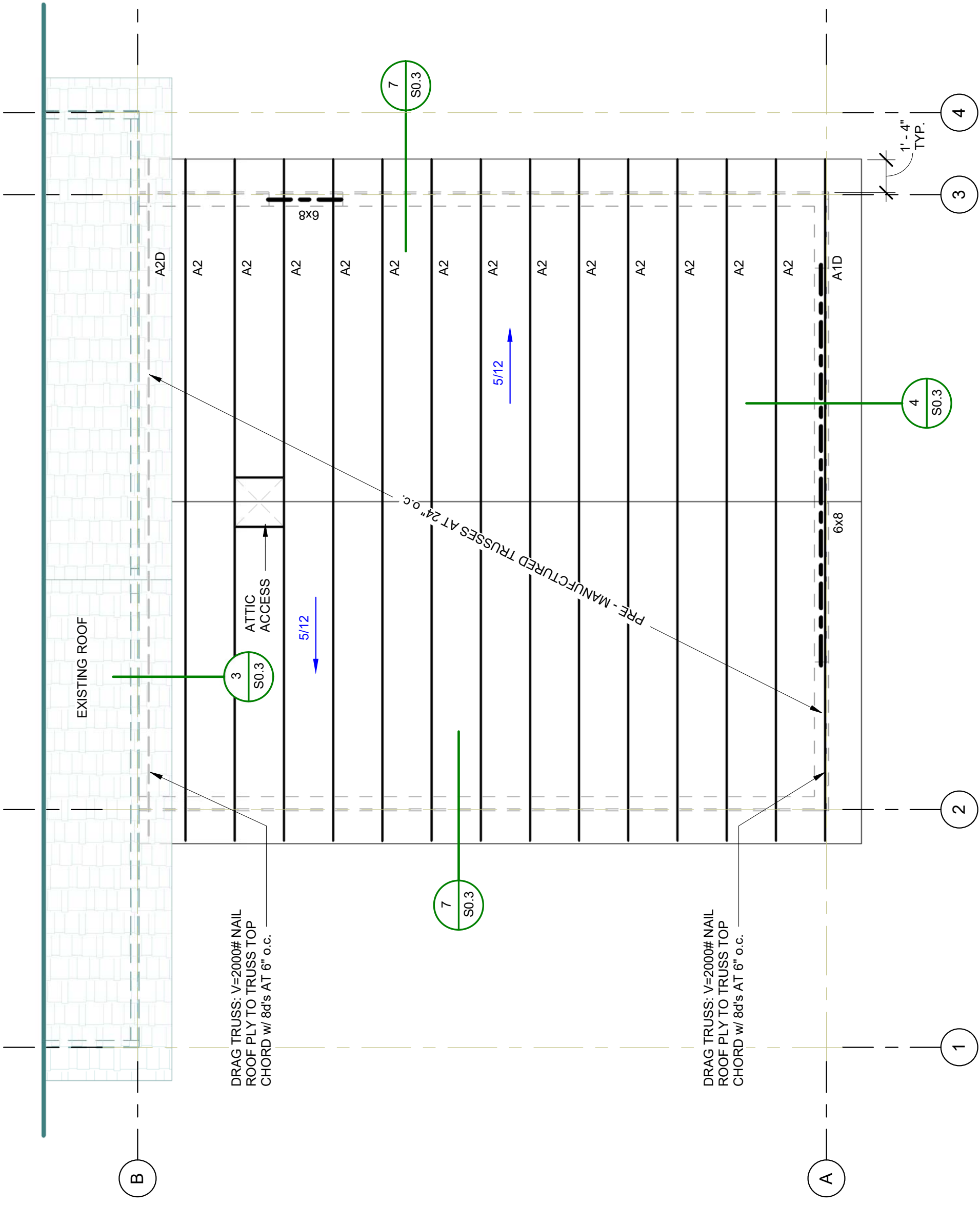
**9** **BEAM POCKET**  
3/4" = 1'-0"

**8** **STUD WALL NOTCH & DRILL**  
3/4" = 1'-0"

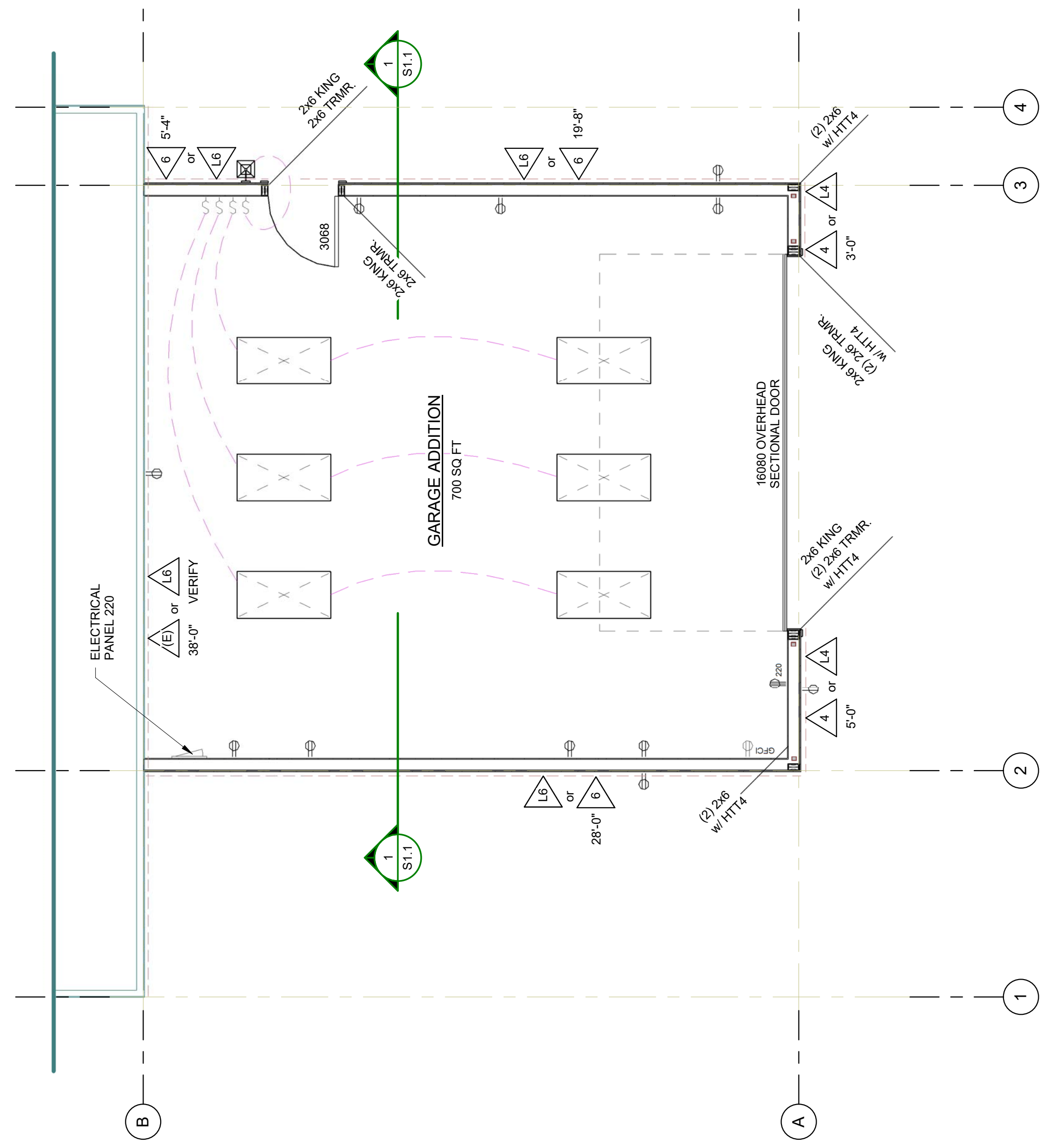
ZWEIFEL GARAGE ADDITION  
2405 WALNUT ST.  
RENO, NV

DRAWN BY	CSB
CHECKED BY	BDD
DATE	1-25-2017
SCALE	AS NOTED
JOB NO.	B16820
SHEET NO.	<b>S0.3</b>
SHEETS	OF

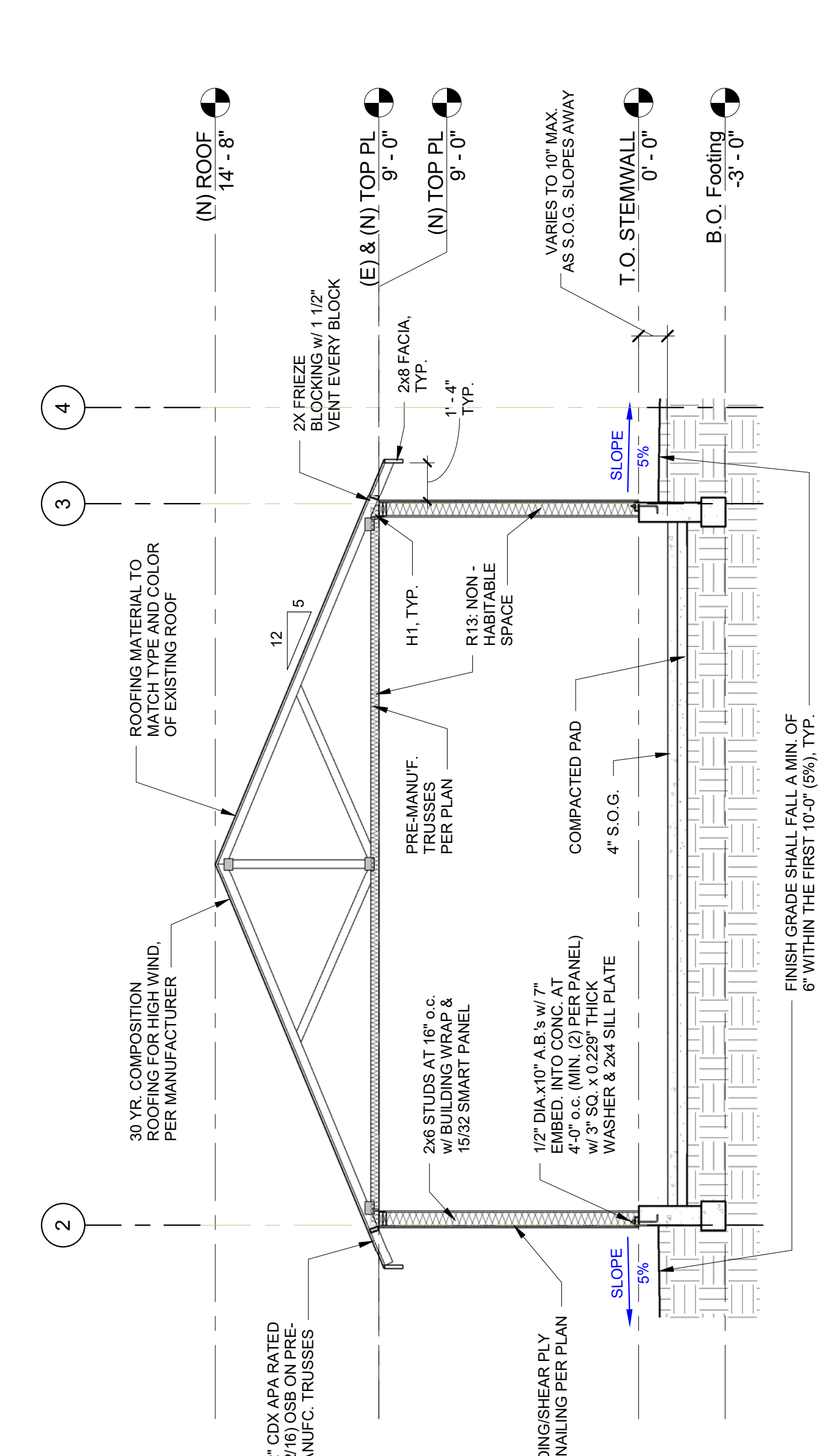
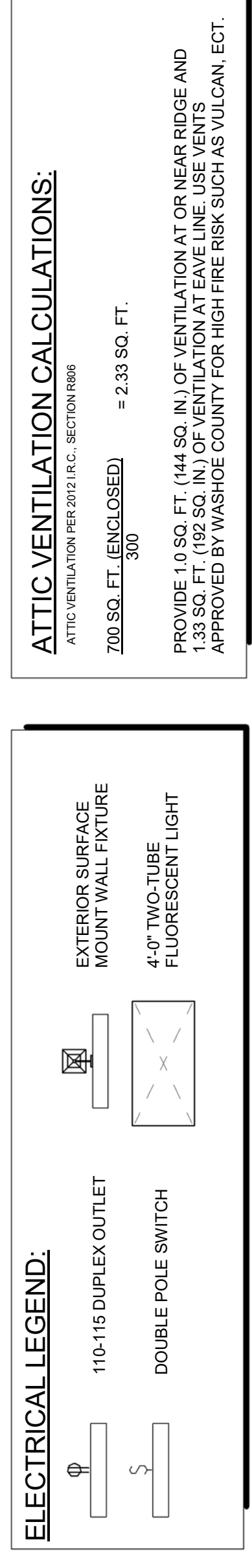
PLEASE RECYCLE



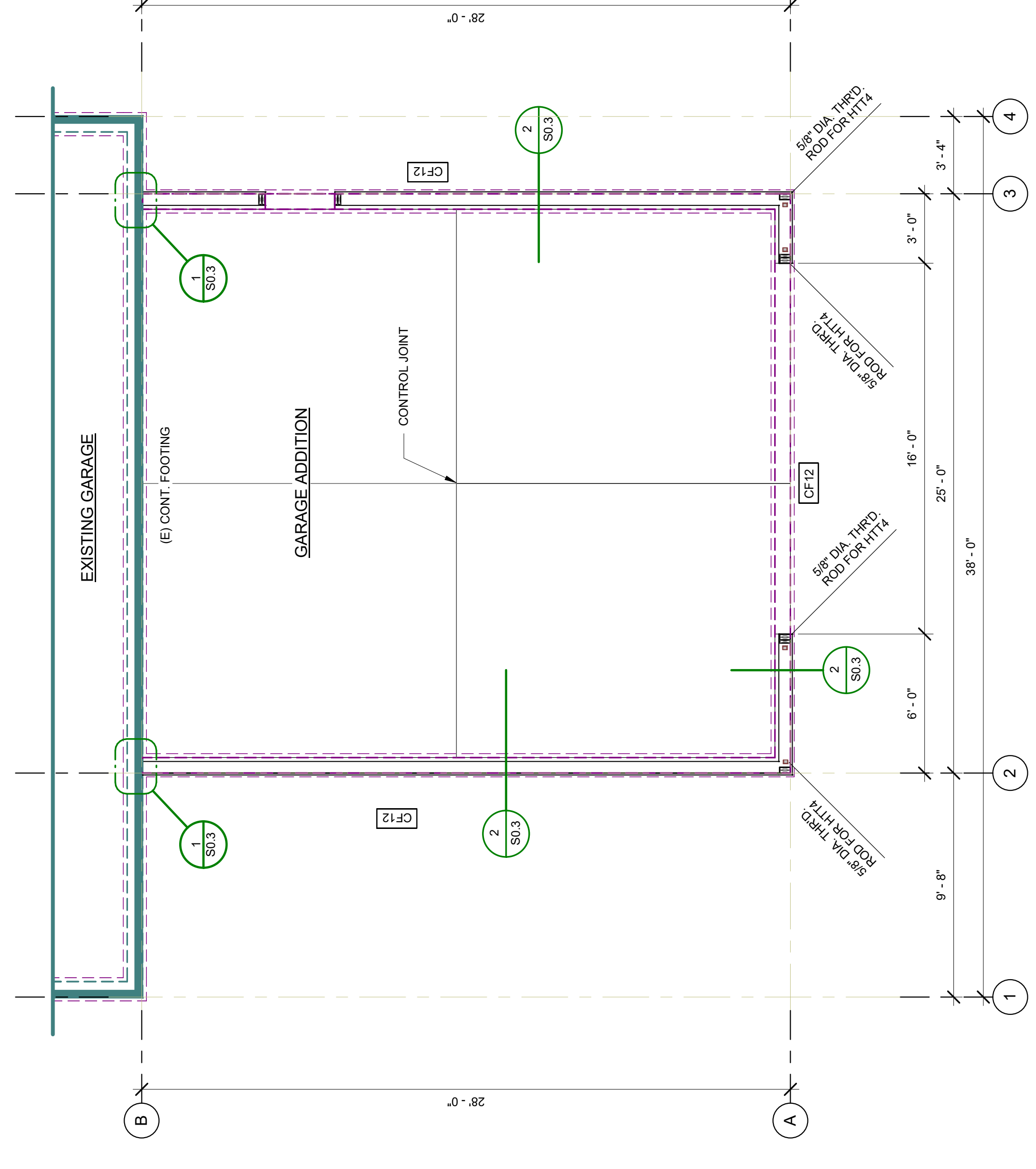
**ROOF FRAMING PLAN**  
1/4" = 1'-0"



**STRUCTURAL / ELECTRICAL / FLOOR PLAN**  
1/4" = 1'-0"



**SECTION 1**  
1/4" = 1'-0"



**FOUNDATION PLAN**  
1/4" = 1'-0"

**FOUNDATION NOTES**

**SILLS & PADS:** TREATED LUMBER, TYP., U.N.O., TIMBERSTRAND LSL, TREATED 2x4 PRESSURE TREATED LUGS ESR-1367.

**ANCHOR BOLTS:** 1/2" DIA. x 18" L. U.N.O. (2) ANCHOR BOLTS PER BOARD MIN., 12" FROM ENDS MAX. ANCHOR BOLTS EMBEDDED 7" MIN. INTO CONCRETE.

**DIMENSIONS:** DIMENSIONS SHOWN ARE FOR GENERAL REFERENCE ONLY. SEE THE BUILDING DRAWINGS (S.A.D.) FOR ACTUAL BUILDING DIMENSIONS. ANY VARIATIONS FROM THE DIMENSIONS SHOWN ARE THE RESPONSIBILITY OF THE ARCHITECT AND ARCHITECT'S SOLE RESPONSIBILITY. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR AND SUBMITTED IN WRITING TO THE ENGINEER AND ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION.

**NOTE:** SEE STRUCTURAL FLOOR PLANS FOR LOCATION OF HOLD-DOWNS.

**CONT. FOOTING SCHEDULE:**

SYMBOL	WIDTH	DEPTH	STEEL
CF12	12"	8"	(continuous)
CF16	16"	8"	(2) #4's (2) #4's

• 6" WIDE STEMWALL w/ (1) #4 CONTINUOUS TOP AND #4 AT 48" o.c. VERTICAL HOOK AT FOOTING (ALTERNATE HOOKS). IF THE TOP OF STEMWALL EXCEEDS 36" ABOVE THE TOP OF FOOTING, USE #4 AT 18" o.c. HORIZONTAL CONTINUOUS AND #4 AT 24" o.c. VERTICAL.

• PROVIDE #4 VERTICALS AT 48" o.c. FOR TYPICAL STEM, HOOK AT FOOTING (ALTERNATE HOOKS).

• ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL. ASSUMED SOIL BEARING CAPACITY IS DETERMINED IN ACCORDANCE W/ IBC TABLE 1806.2, UNLESS SOIL REPORT IS PROVIDED.

• EXTERIOR FOOTINGS TO BE PLACED 24" BELOW GRADE PER APPLICABLE CODES.

**NOTE:** SEE DETAILS FOR SPECIAL REINFORCING OF STEMWALL AND FOOTINGS.

**HOLD-DOWN SCHEDULE NOTES**

**HOLD-DOWN**  
HTT4

**THREADED ROD-ANCHOR BOLT**  
5/8" DIA. w/ 18" EMBED

**HOLD-DOWN STUD**  
(2) 2x, U.N.O.

**HOLD-DOWN INFORMATION**

- ALL HOLD-DOWNS TO BE SCREWED OR NAILED TO DOUBLE STUDS, U.N.O.
- ANCHOR BOLTS HORIZONTAL AT TOP OF STEMWALL AT ALL HOLD-DOWN ANCHOR BOLTS.
- HOLD-DOWN ANCHOR BOLTS ARE DESIGNED FOR UPLIFT ONLY STANDARD MUDSILL ANCHOR BOLTS ARE REQUIRED (SPACING PER PLAN).
- USE RIM & BLOCKING OR DOUBLE SOLID BLOCKING AT HOLD-DOWN HTT4.
- HTT4: 2x2 STUDS TOGETHER w/ 16d's AT 4" o.c. STAGGERED. LOCATE NAILS 3" MIN. FROM END OF STUDS AND PROVIDE 1" MIN. EDGE DISTANCE.

\* SEE HOLD-DOWN ANCHOR BOLT SCHEDULE SHEET S0.1 FOR SIMPSON SSTB BOLTS.

**SHEAR WALL SCHEDULE NOTES:**

SYMBOL	SHEAR PLY	E.N. SPACING	3x STUDS AT ADJOINING PANEL EDGES	16d SPACING AT SHEAR TRANSFER
6	3/8"	8d AT 6"	NO	6" o.c.
4	3/8"	8d AT 4"	NO	4" o.c.
L6	3/8" T1-11 MIN.	8d AT 6"	NO	6" o.c.
L4	3/8" T1-11 MIN.	8d AT 4"	NO	4" o.c.

• Use Common Nails, Field Nail AT 12" o.c., U.N.O.

• Use 3/8" Shear Ply, CSB or Rated Edge U.N.O.

• Edge Nail AT Top Plate, Mud Sill, All Posts, Soffit Plates, & All Studs w/ Hold-downs.

• Use (12) 16d Nails AT All Top Plate Splices (60" Long) U.N.O.

• Use SIMPSON MTC52 To Strap Top Plates Across Breaks, U.N.O.

• Provide Blocking AT All Horizontal Edges of Shear Plywood.

• With Hardpanel option, block wall at 48" o.c. vertical w/ 2x blocking.

• \*\* Double Shear Walls To Have Shear Ply Both Sides. (Offset Plywood Edges)

**NOTE:** Shear wall schedule includes all shear options. See plan for specific requirements.

**ROOF FRAMING NOTES:**

**SHEATHING:** PLYWOOD (OR EQUAL) EXPOSURE 1, APA SPAN RATED (32/16), STAGGER JOINTS, NAIL w/ 8d AT 6" o.c. ALL EDGES, GABLE ENDS AND FREEZE BLOCKS. NAIL w/ 8d AT 12" o.c. FIELD.

• ALL PLYWOOD SHALL CONFORM TO APA PS 1. ALL SHEAR PLYWOOD SHALL BE C-D, C-C, 303 (T1-11), OR APPROVED EQUAL.

**TRUSSES:** PRE-MFG. OR ENGINEERED TRUSSES AT 24" o.c., PROVIDE 2x STUD PER TRUSS PLY AT ALL GIRDER BRG. POINTS AT PLATES, U.N.O.

**NOTE:** SEE TRUSS CALCULATIONS FOR TRUSS DESCRIPTIONS

**LVL'S, PSL'S & LSL'S:**

- ALL LVLS SHALL HAVE F<sub>b</sub> = 2600 PSI, F<sub>v</sub> = 285 PSI, AND E = 1.9x10<sup>6</sup> PSI MIN.
- ALL PSL'S SHALL HAVE F<sub>b</sub> = 2600 PSI, F<sub>v</sub> = 285 PSI, AND E = 1.9x10<sup>6</sup> PSI MIN.
- ALL LSL'S SHALL HAVE F<sub>b</sub> = 2250 PSI, F<sub>v</sub> = 400 PSI, AND E = 1.5x10<sup>6</sup> PSI MIN.

• UNLESS NOTED OTHERWISE NAIL MULTI-PLY LVLS w/ (3) 16d's AT 12" o.c.

**HEADERS:** 6x8 ROSSBORO MFG. TIMBER OR DF #1 TYP., U.N.O.

**TRIMMERS:** 4x D.F. #2 AND 6x D.F. #1 (LOCATE AS NOTED)

• TRIMMERS AT OPENINGS GREATER THAN 5'-0" AT 2x6 WALLS TYP. U.N.O.

• DBL. TRIMMERS AT OPENINGS GREATER THAN 4'-0" AT 2x4 WALLS TYP. U.N.O.

**POSTS:** 4x D.F. #2 AND 6x D.F. #1 (LOCATE AS NOTED)

**METAL CONNECTORS:** (USE SIMPSON BRAND OR APPROVED EQUAL)

• HANGERS SHOWN AT TRUSSES ARE TYPICAL. PROVIDE HANGERS AS SPECIFIED ON THE STAMPED TRUSS CALCULATIONS.

• SIMPSON HIT CLIPS AT ALL TRUSS BEARING POINTS ON PLATES & BEAMS

• SIMPSON HS CLIPS AT ALL PORT-BEARING POINTS ON PLATES & BEAMS

**REVISIONS**

NO.	DATE	DESCRIPTION
1		
2		

**DEI**  
engineers

Dunagan Engineering, Inc.  
4790 Caughlin Parkway #766, Reno, NV 89519  
T: 775.329.2733 F: 888.873.0790 | W: Deiengineers.com

STRUCTURAL ONLY

ROBERT C. CORBIN  
REGISTERED PROFESSIONAL ENGINEER - STATE OF NEVADA  
EXP. 12-31-18  
NO. 21333-9

1/25/2017 10:43:31 AM

2405 WALNUT ST.  
RENO, NV

**ZWEIFEL GARAGE ADDITION**

DRAWN BY: CSB  
CHECKED BY: BDD  
DATE: 1-25-2017  
SCALE: AS NOTED

JOB NO.: B16820  
SHEET NO.: S1.1

OF SHEETS

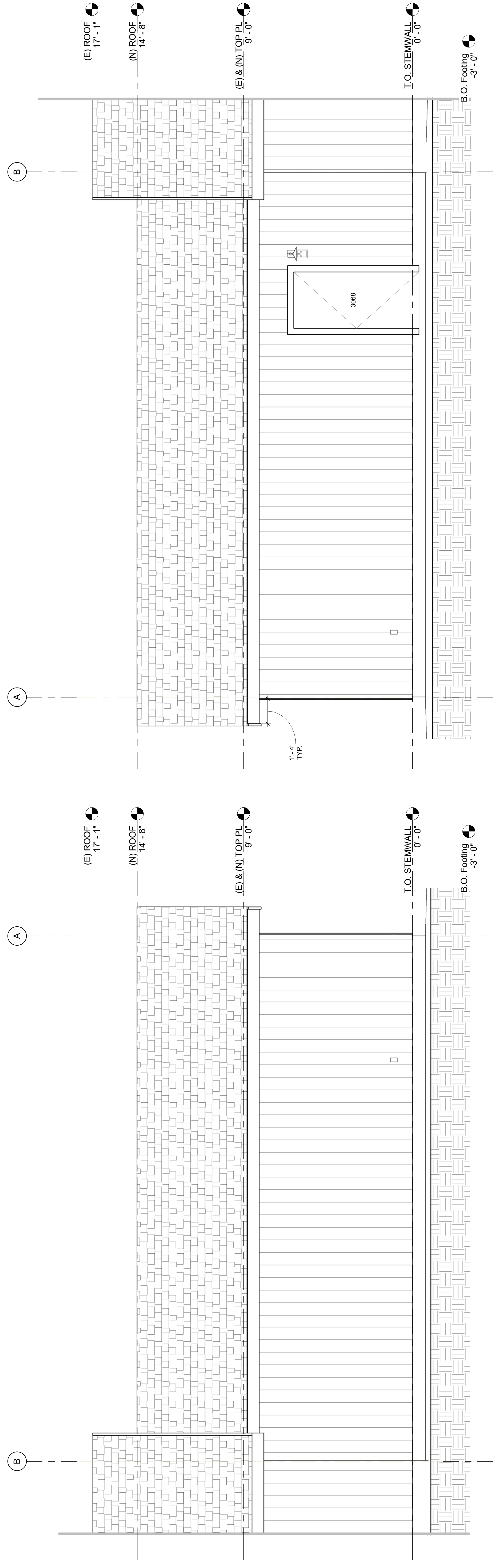
PLEASE RECYCLE

NO.	DATE	DESCRIPTION	BY

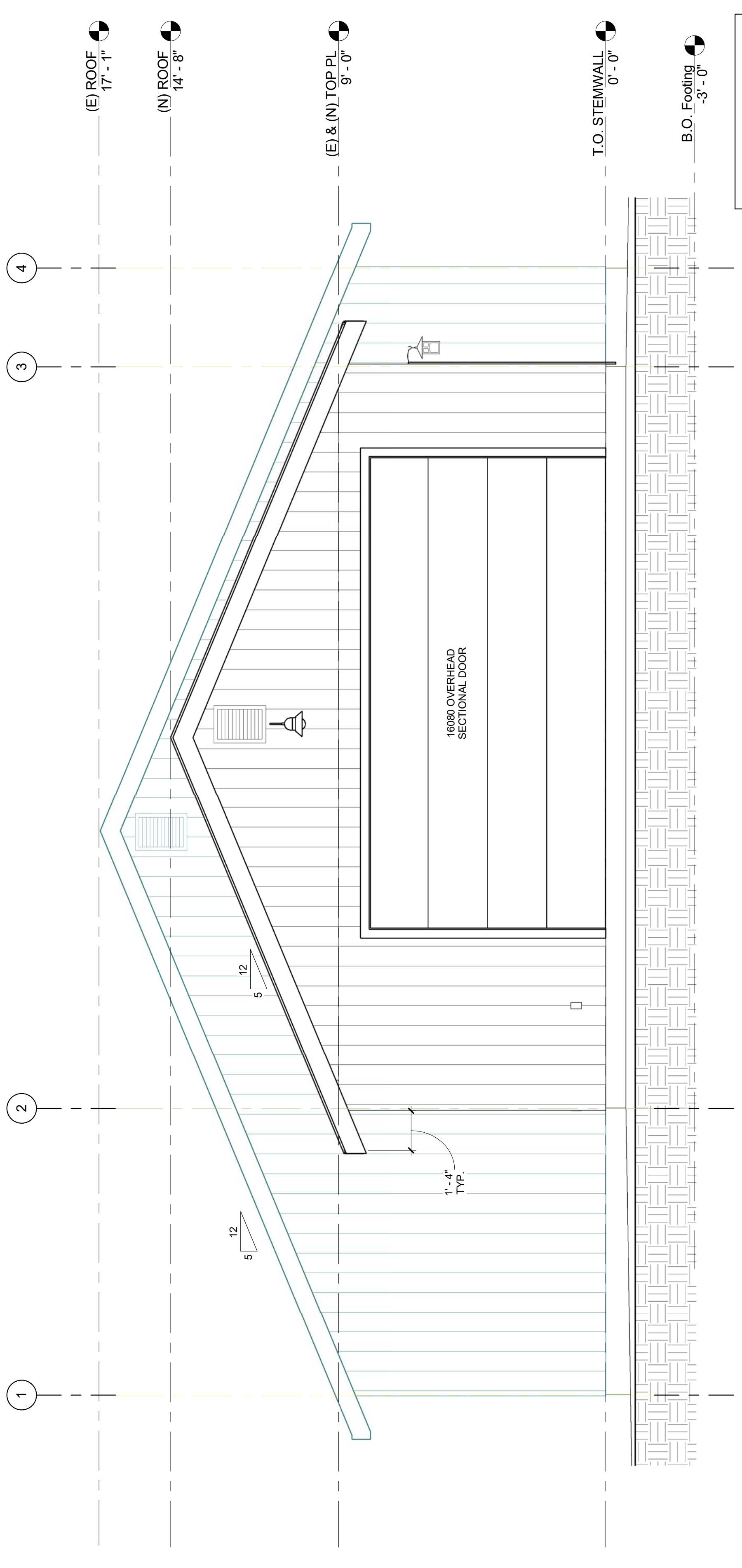
**DEI**  
*engineers*  
 Dunagan Engineering, Inc.  
 4790 Caughlin Parkway #766, Reno, NV 89519  
 T. 775.329.2733 | F. 888.873.0790 | W. DEIengineers.com

STRUCTURAL ONLY

1/25/2017 10:43:35 AM



ZWEIFEL GARAGE ADDITION  
 2405 WALNUT ST.  
 RENO, NV



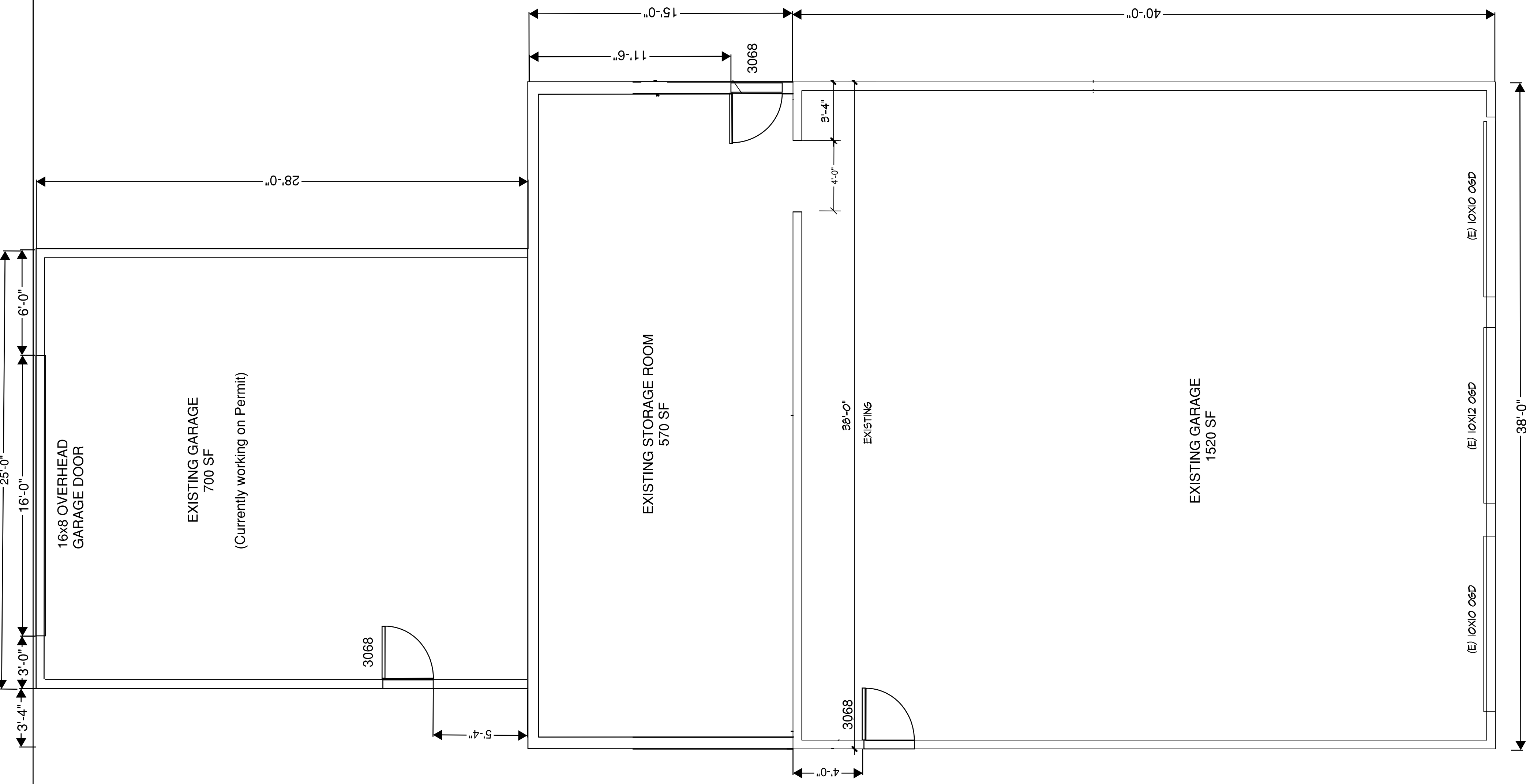
DRAWN BY	CSB
CHECKED BY	BDD
DATE	1-25-2017
SCALE	AS NOTED
JOB NO.	B16820
SHEET NO.	S1.2

OF SHEETS

PLEASE RECYCLE

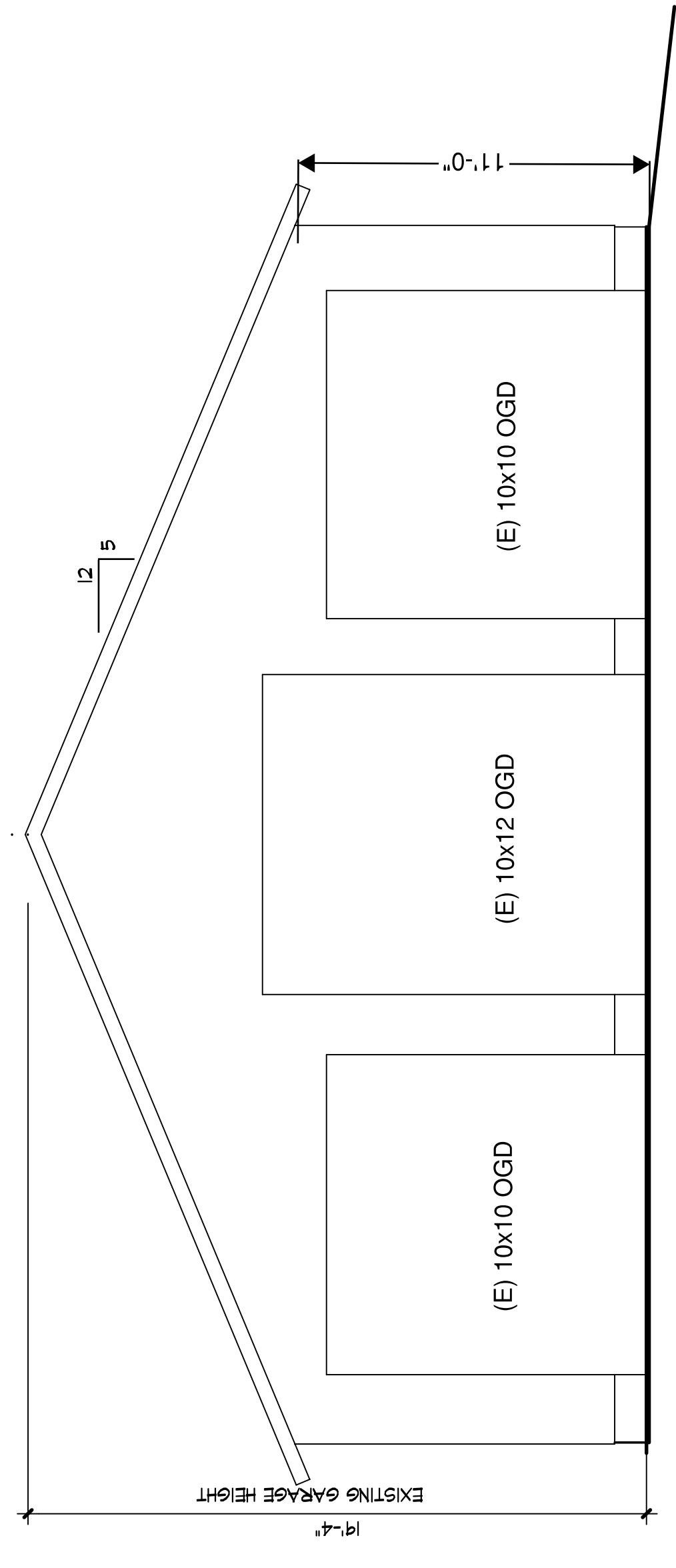
NOTE:  
 REFER TO PLAN AND  
 SECTION FOR ALL NOTES

ZWEIFEL GARAGE  
2405 WALNUT ST  
RENO, NV 89502

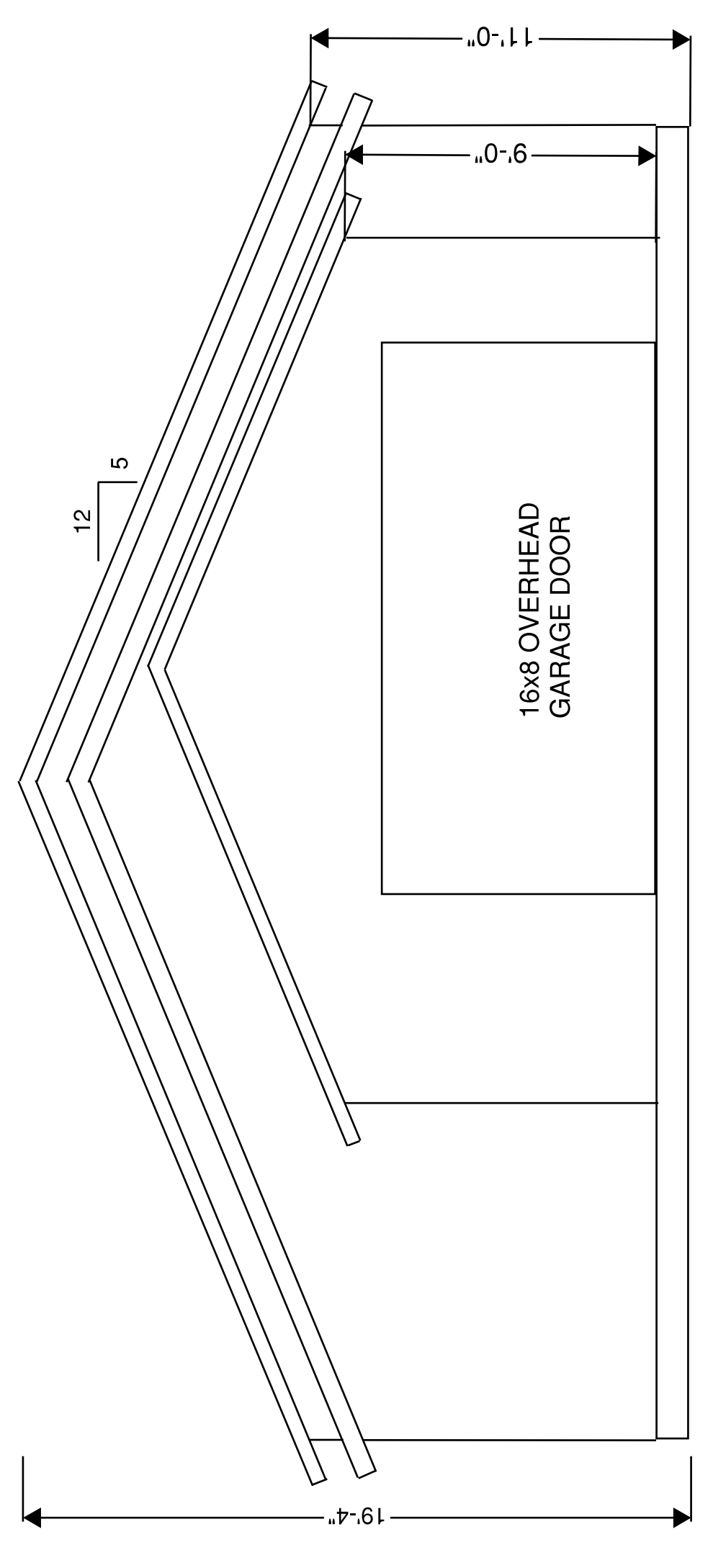


EXISTING GARAGE FLOOR PLAN  
1/4" = 1'-0"

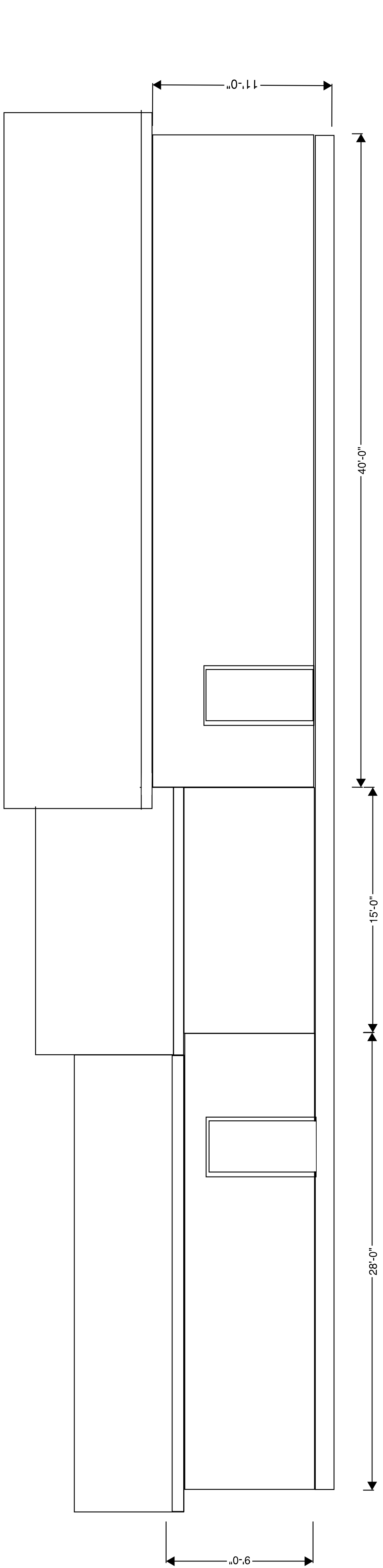
2090 sf	.....EXISTING TOTAL
700 sf	.....ADDITION
2790sf	.....TOTAL



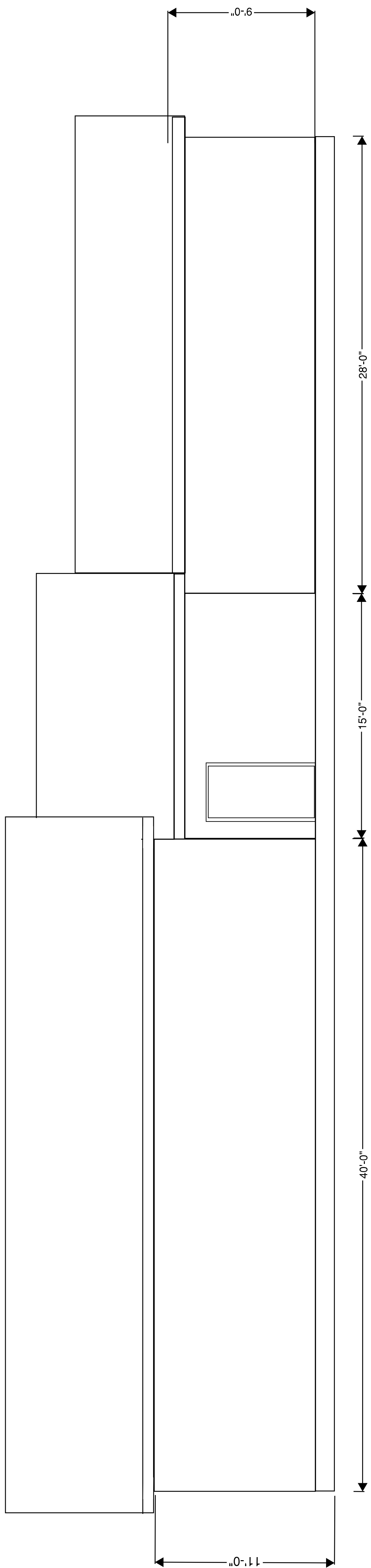
EXISTING EAST ELEVATION



EXISTING WEST ELEVATION



EXISTING SOUTH ELEVATION  
1/4" = 1'-0"



EXISTING NORTH ELEVATION  
1/4" = 1'-0"

Jerry & Adrienne Zweifel  
2405 Walnut St. Reno NV



Main Residence – South Elevation



Main Residence – South-East Elevation

Jerry & Adrienne Zweifel  
2405 Walnut St. Reno NV



Main Residence – East Elevation



Main Residence – North – East Elevation

Jerry & Adrienne Zweifel  
2405 Walnut St. Reno NV



Main Residence – North - East



Main Residence – North Elevation



Jerry & Adrienne Zweifel  
2405 Walnut St. Reno NV



Main Residence – North – West Elevation

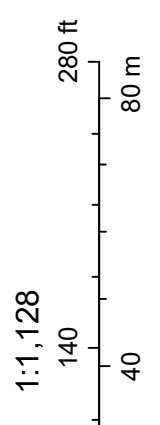


Main Residence – South – West Elevation

2405 Walnut Street Reno NV 89502 A.P.N. 021-132-04



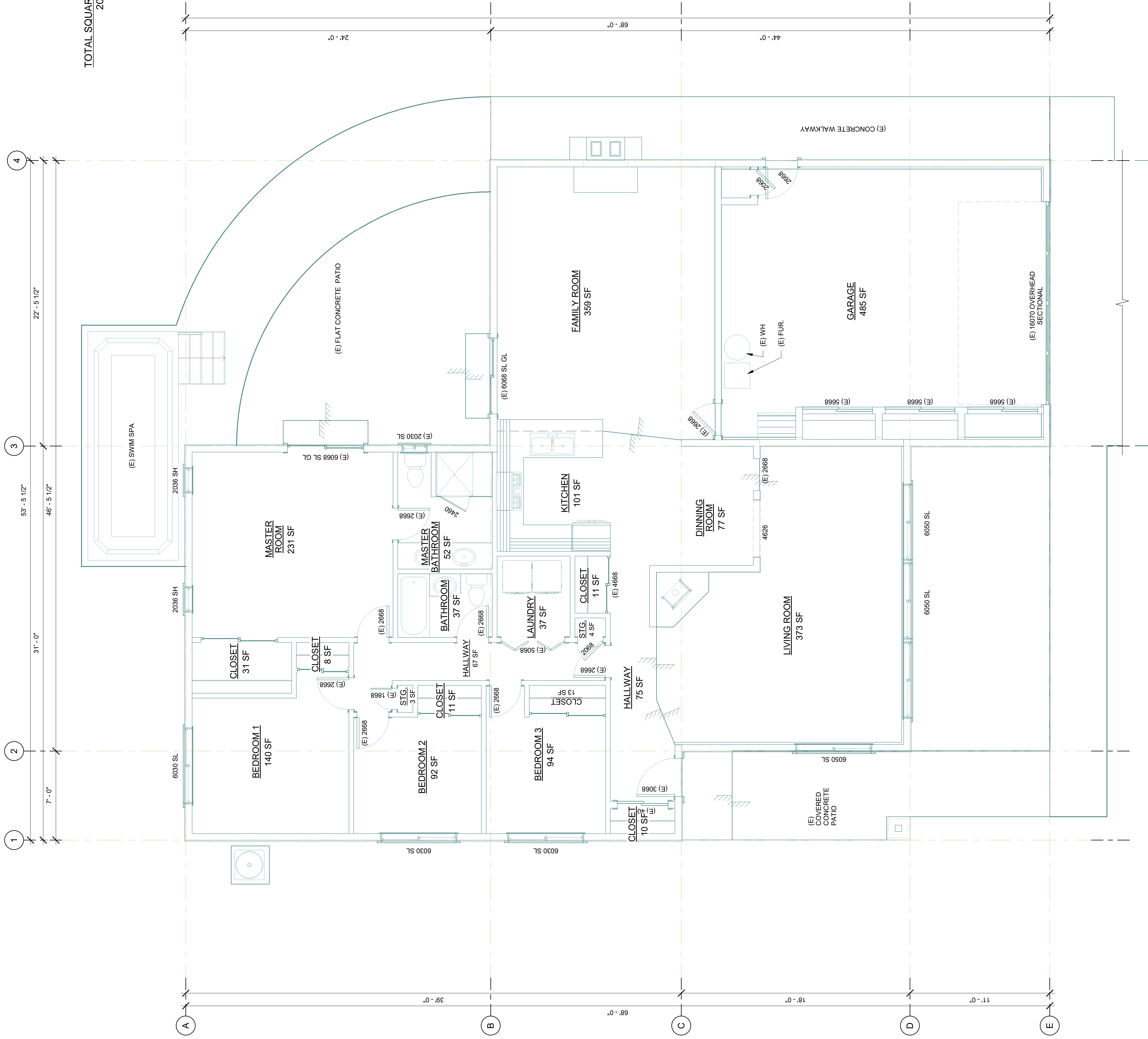
March 14, 2019  
APN



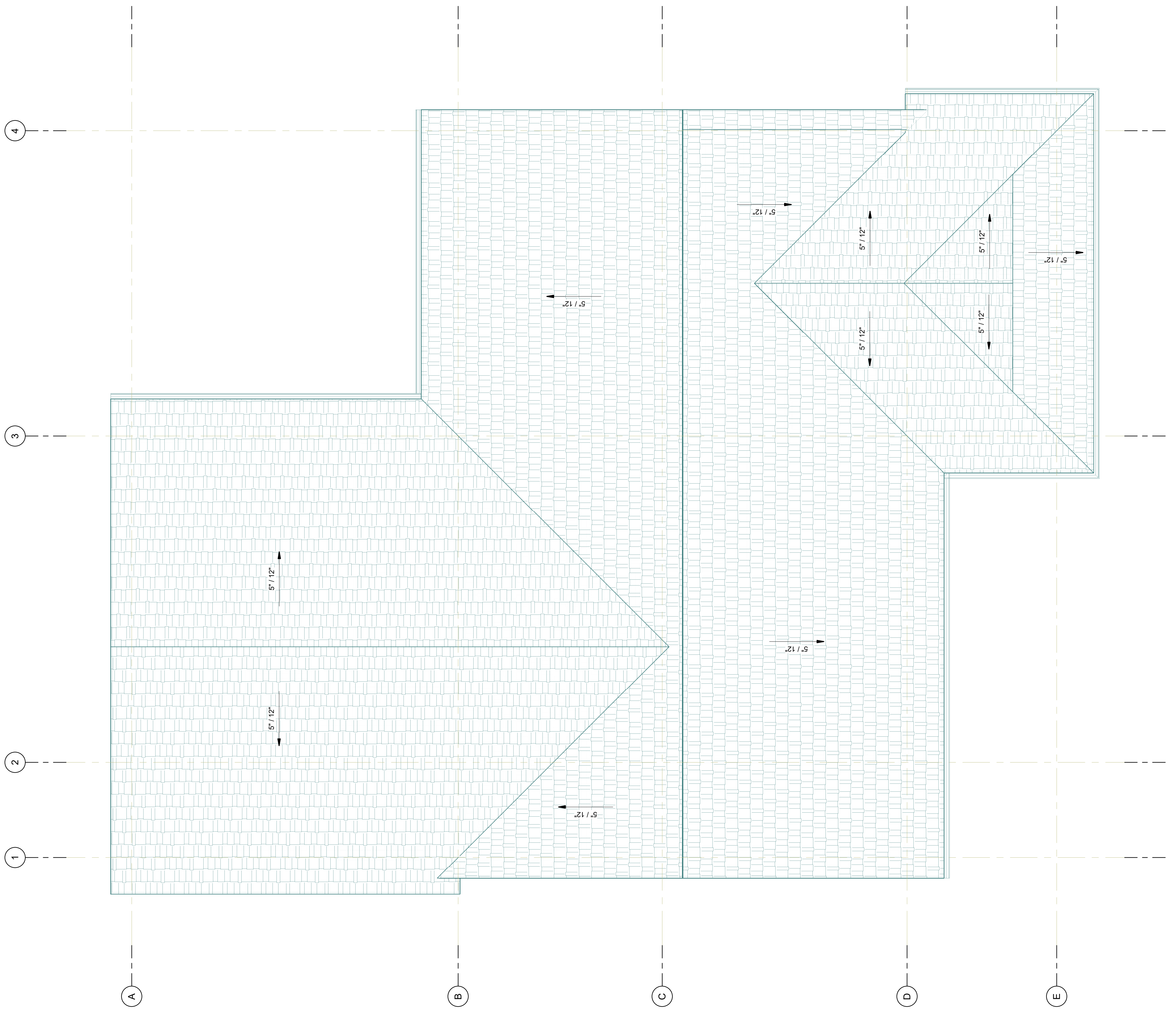
Washoe County  
Washoe County GIS  
Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics,  
CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User  
Community

This information for illustrative purposes only. Not be used for boundary resolution or location and not intended to be used for measurement, calculation, or delineation.  
Washoe County Technology Services - Regional Services Division, 1001 E. 9th St, Building C-200, Reno, NV 89512 www.washoecounty.us/gis/328-2345

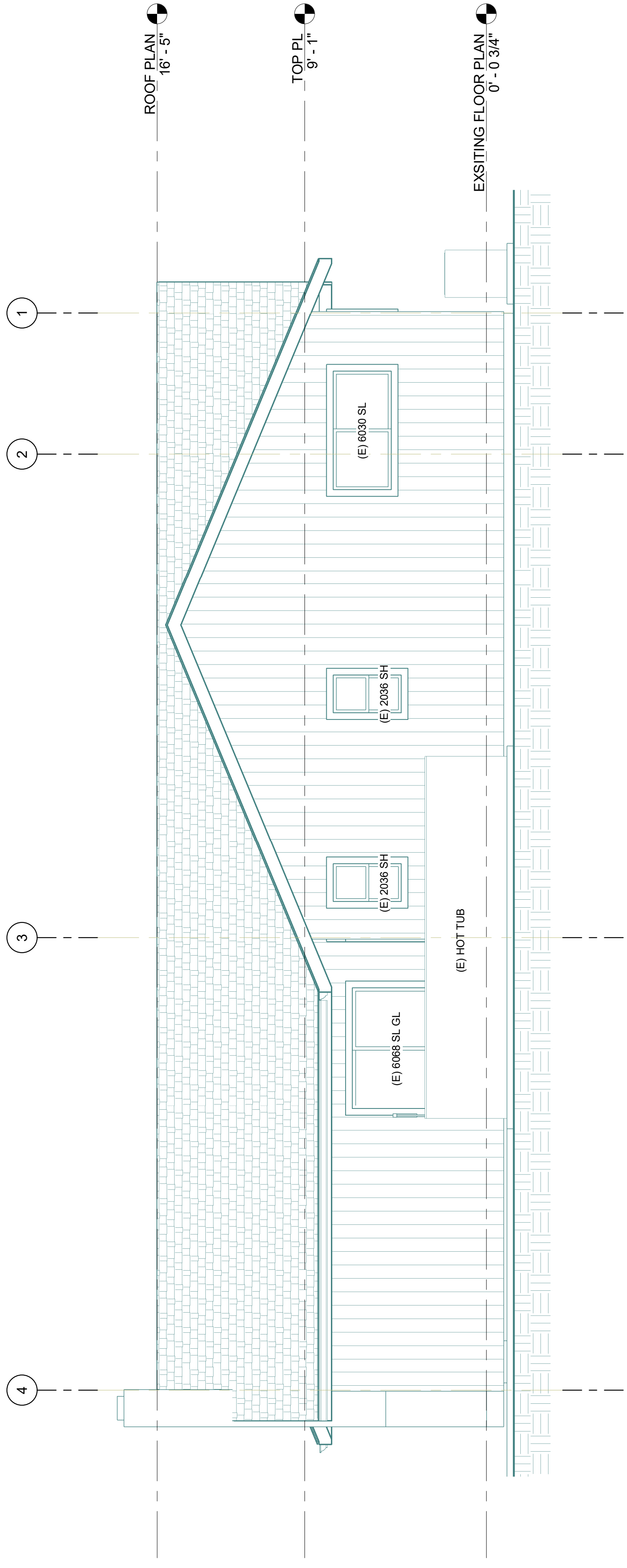
TOTAL SQUARE FOOTAGE OF HOUSE  
 2037 SF



EXISTING FLOOR PLAN  
 1/4" = 1'-0"

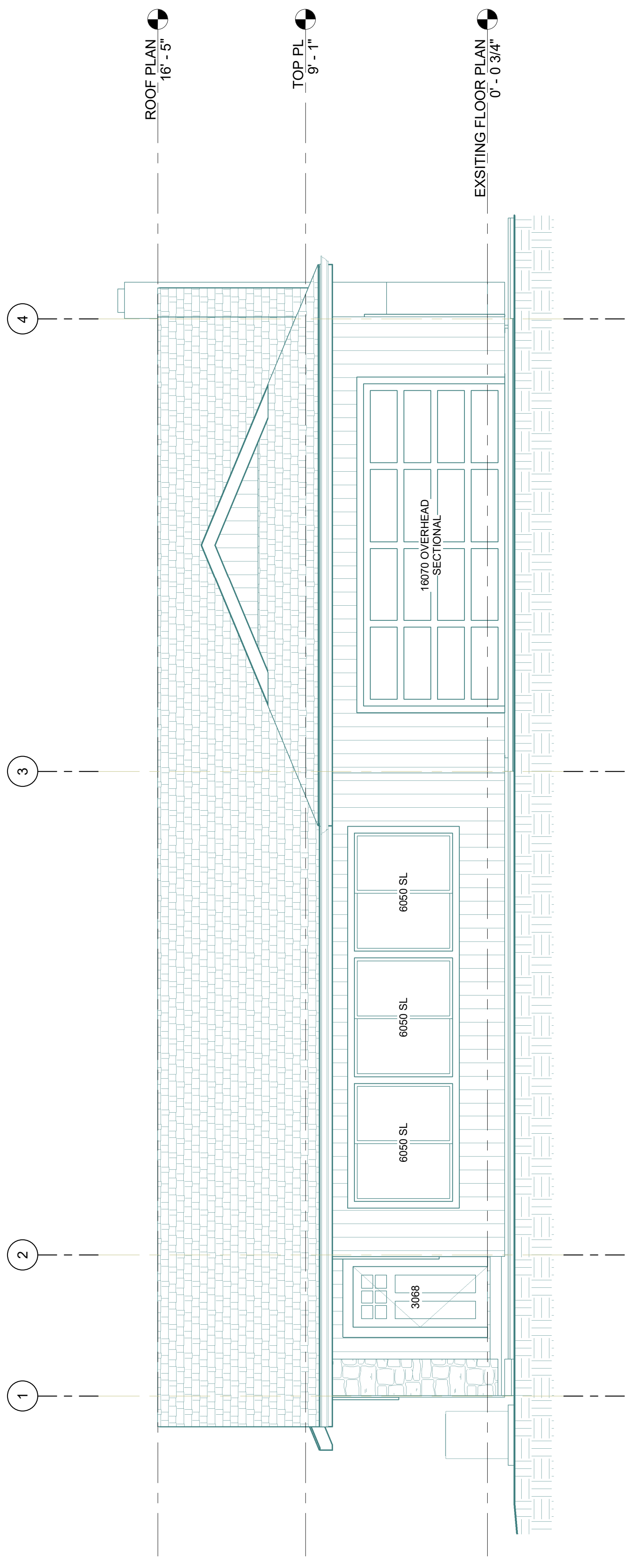


EXISTING ROOF PLAN  
1/4" = 1'-0"



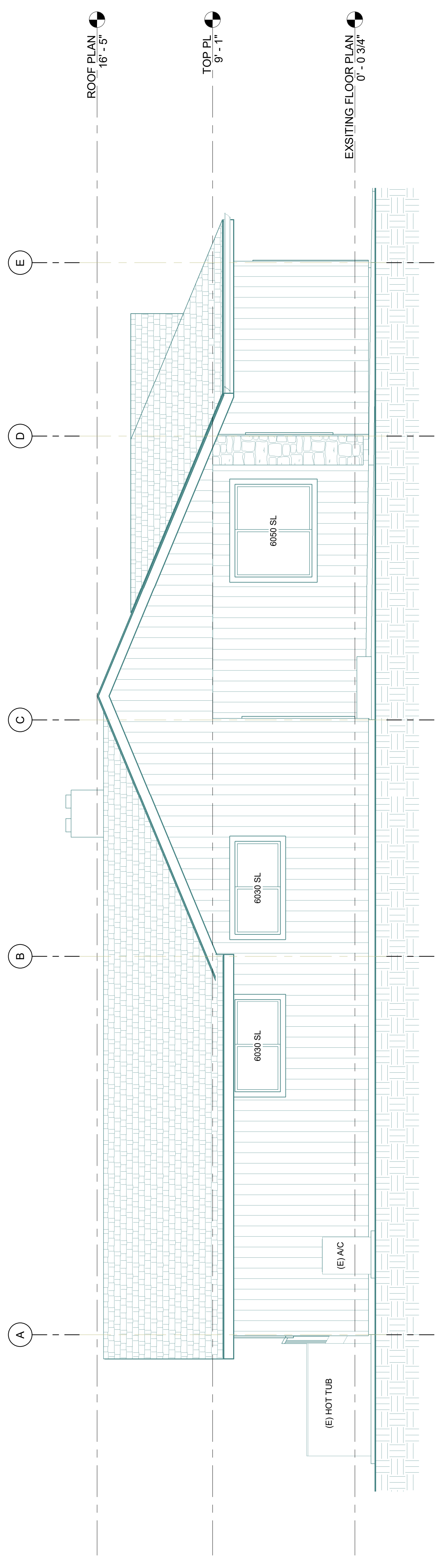
EXISTING NORTH ELEVATION

1/4" = 1'-0"

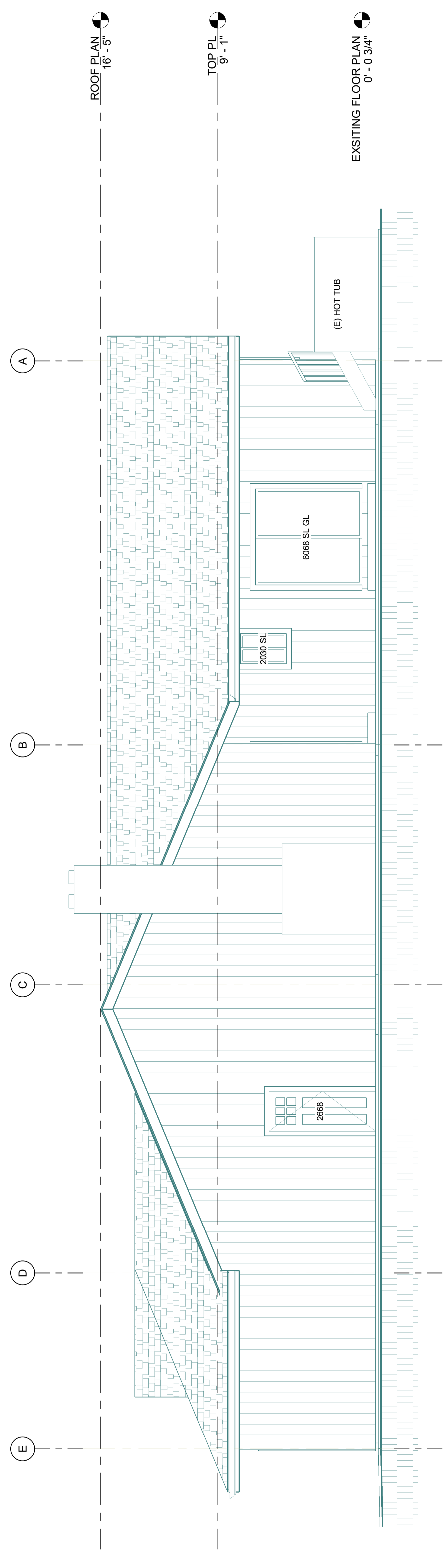


EXISTING SOUTH ELEVATION

1/4" = 1'-0"



EXISTING WEST ELEVATION  
1/4" = 1'-0"



EXISTING EAST ELEVATION  
1/4" = 1'-0"